



Evelyn House

Design & Access Statement  
REV\_P02

18-088  
06.08.2020





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# 1.0 Executive Summary

## Site Location

Evelyn House, 5-31 Eastmoor Street, Charlton, London

## Description of this Application

This is a full detailed planning application which aims to secure the Demolition of an existing building and the construction of a part 4, part 6, part 7 storey building, comprising of Class C3 residential use (67 units) and Class B1 business use with associated amenity and play space, public realm, access, car and cycle parking, refuse and recycling storage and sub-station.

## Purpose of this Document

This document explains the design, access and technical rationale behind this new residential development set within the Charlton SPD masterplan zone.

## Applicant

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## Design Team

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OFR Consultants



Daylight & Sunlight  
Specialist  
Point 2 Surveyors



Flood Risk  
UK Flood Risk



Transport Consultant  
TTP Consulting



Marketing Specialist  
Landswift





# 2.0 Site Overview



# 2.1 Existing Site

The site lies within the Royal Borough of Greenwich and is situated between Westmoor and Eastmoor Road, and is primarily accessed off Eastmoor Street.

The Site is situated approximately 0.7mile (1126m) northeast of Charlton Railway Station.

The Site is bounded by Eastmoor Street to the east, Westmoor Street to the west, and industrial warehouses to the north and south. These appear to be active businesses. The Site itself comprises a single storey pitched roof building, currently occupied by Beaumont Beds (Use Class B8), and a small area of hardstanding for parked cars to the frontage on Eastmoor Street. Two trees lie just outside the western side of the site boundary.

The surrounding area is predominantly industrial in character, however the Council does have aspirations to regenerate the area into a thriving mixed-use community, as set out in the recently adopted Charlton Riverside Masterplan SPD (2017). The near by residential area, south of the Woolwich Road, is predominantly low rise residential dwellings, with a range of typologies including 2 and 3 storey terraced, semi-detached houses and 3 and 4 storey blocks of flats.

The nearest parade of shops is adjacent to Charlton Railway Station, a 13 minute walk to the southwest of the Site. Several retail parks are situated along Woolwich Road to the west of the site, such as Stone Lake, Brocklebank and Greenwich Shopping Park. Between them there is a wide range of different retail shops and supermarkets, a short bus journey away from site.

Directly to the east of the site is Eastmoor Street Park. This is a newly established park within the Charlton Riverside SPD area, linking Maryon Park to the south to the riverside to the north.

According to the Environment Agency's Flood Zone Maps the Site is located within Flood Zone 3 and benefits from flood defences.

Key

● ●

Charlton Riverside SPD

□

Site location (Evelyn House)





## 2.2 Site Location

Address:  
Evelyn House, 5-31 Eastmoor Street, Charlton, SE7 8LX

PTAL 2/4



Location Plan



Aerial photo



Aerial photo - Plan view



## 2.3 Existing Local Context



1 Thames Barrier



2 Thames Barrier



3 Windrush School



4 Trust School



5 Residential (Tower block)



6 Residential (low rise block)



7 Warehouse vernacular



8 The Victoria pub - locally listed



# 2.4 Site Photos



1



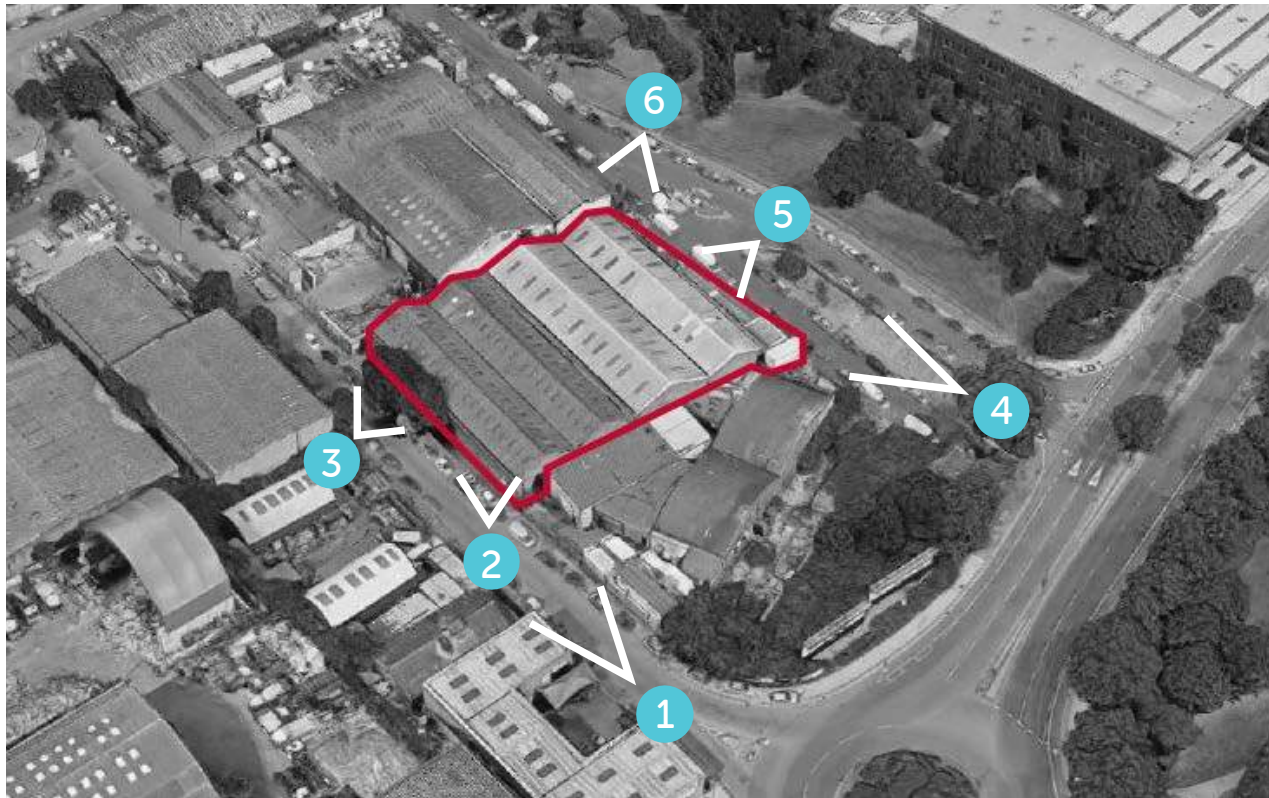
2



3



4



5



6



## 3.0 Charlton Riverside SPD



# 3.1 SPD Consented Masterplan

## Overview

The Royal Borough of Greenwich adopted the Charlton Riverside SPD in 2017. The document sets out the vision and objectives for the area and describes how an exemplary new urban district may be designed and delivered.

Charlton Riverside seeks to integrate the Riverside with the existing Charlton community, connecting to the transport network and creating a new neighbourhood which combines homes with employment, community areas and open spaces. It covers 122 hectares and includes the Evelyn House site.

Charlton Riverside will be an important piece of the Thames riverside landscape, connecting Greenwich Peninsula to Woolwich town centre. Both of these areas have already undergone major changes in recent years with further developments planned or underway including new homes and transport connections.

The SPD area is bounded to the north by the River Thames, Horn Link Way/Pearlway to the west, Warspite Road to the east, and Woolwich Road to the south. It also includes part of Charlton Church Lane leading to/from Charlton railway station.

As of 2017, it was home to 400 different businesses across a range of industrial sectors, including strategically important aggregates industries on the western edge of the site, two small groups of housing off Anchor and Hope Lane, some education uses at its eastern end, Eastmoor Street Park and the iconic Thames Barrier.

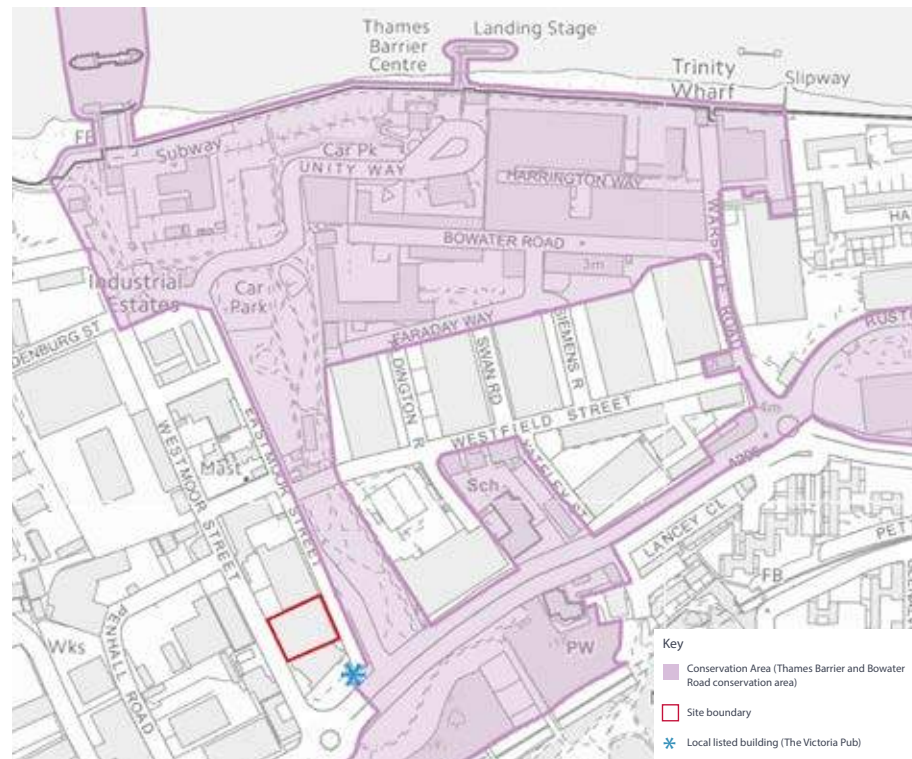




## 3.2 SPD Masterplan Principles

The diagrams below are taken from the Charlton Riverside SPD 2017 and illustrate key masterplan principles that will influence the design of Evelyn House.

### Conservation Area



### Building Heights



### Urban Structure



### Use Classes



### Green Uses



### Character Areas





# 3.3 SPD Site Principles

The diagrams below summarise local factors outlined in the SPD that directly inform the design of Evelyn House.

## Primary Route



Leading to Thames Barrier

## Heights



- 3-4 storey
- 3-5 storey

Note: SPD heights seem to low for density

## Green Route



Create new public realm

## Barrier Park



Improve connection to Barrier Park



# 3.4 Recent Planning Submissions

Key

Evelyn House (This application)

33-81 Eastmoor Street & 6-10 Westmoor Street  
Status: Recently submitted

Herringham Quarter  
Status: Under consideration

The VIP Trading Estate & the VIP Industrial Estate  
Status: Under consideration

Flint Glass Wharf  
Status: Under consideration

Faraday Works  
Status: Under consideration

Stone Foundries  
Status: Scoping Opinion



Diagram showing recent planning submissions within the Charlton Riverside SPD



## 4.0 Site Assessment

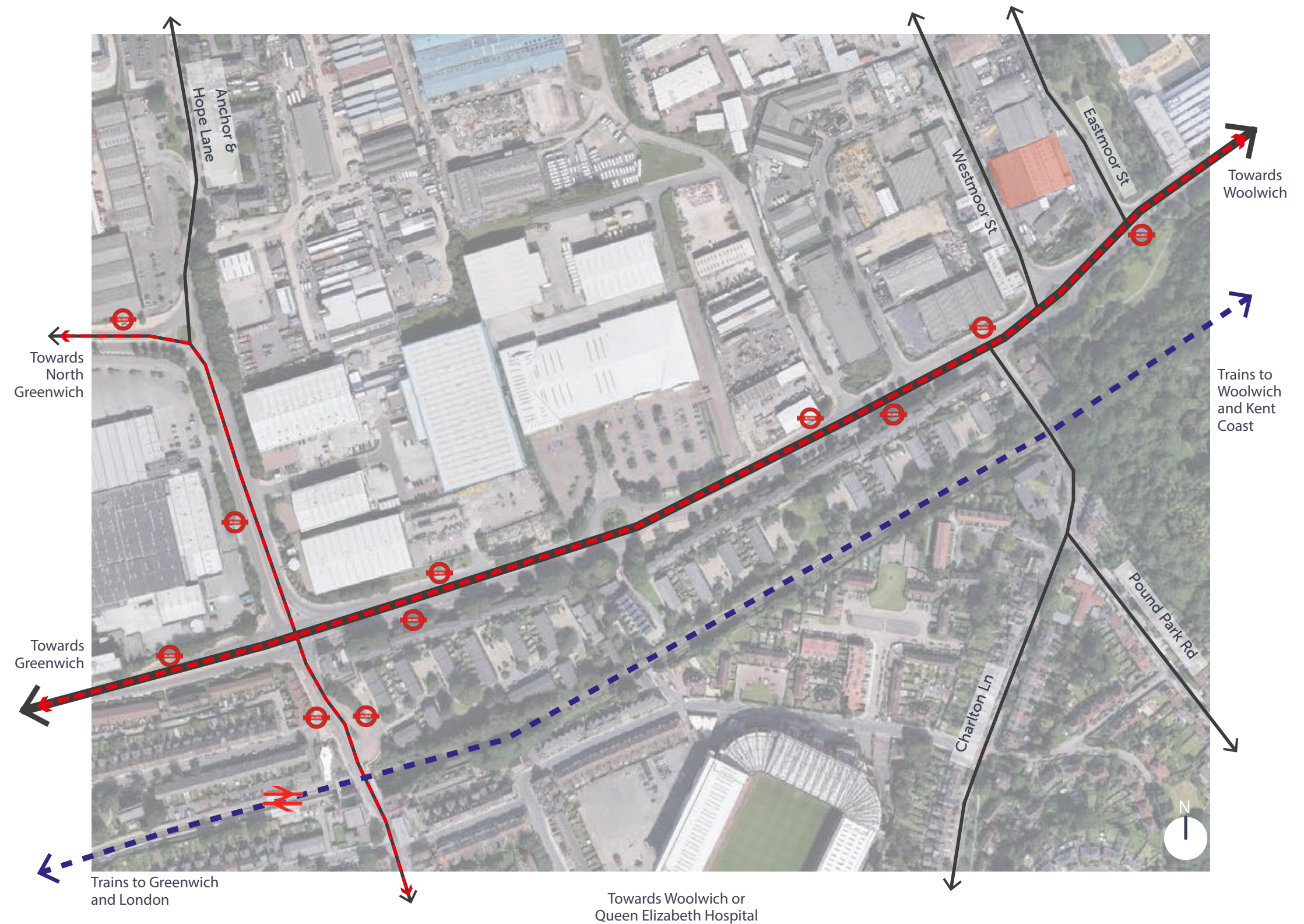


# 4.1 Existing Context

The Site lies roughly 50 meters away from Woolwich Road (A206) which is the main road connecting Greenwich and Woolwich. As a result, there are a number of frequent bus services connecting Woolwich, Greenwich town centre, Greenwich Peninsular and wider areas. Buses at the nearby Charlton train station also run towards Bexleyheath.

Charlton train station is a 13 minute walk from the site and forms part of the North Kent Line. Since 2018, the station is served by Southeastern and Thameslink trains, offering direct links to Central London, Medway, North Kent and Luton. Central London links include Cannon Street, Charing Cross, London Bridge, St Pancras International, City Thameslink and Blackfriars.

The Site has a Public Transport Accessibility Level (PTAL) score of largely 4, although a small part of the site has a score of 2 (where 1 is low and 6 is high) indicating a predominantly good level of accessibility by public transport. There does not currently appear to be a CPZ within or in the immediate vicinity of the site boundary.



## Key

- Project site
- Primary street
- Secondary street
- Main bus routes
- Bus stop
- Charlton Train Station

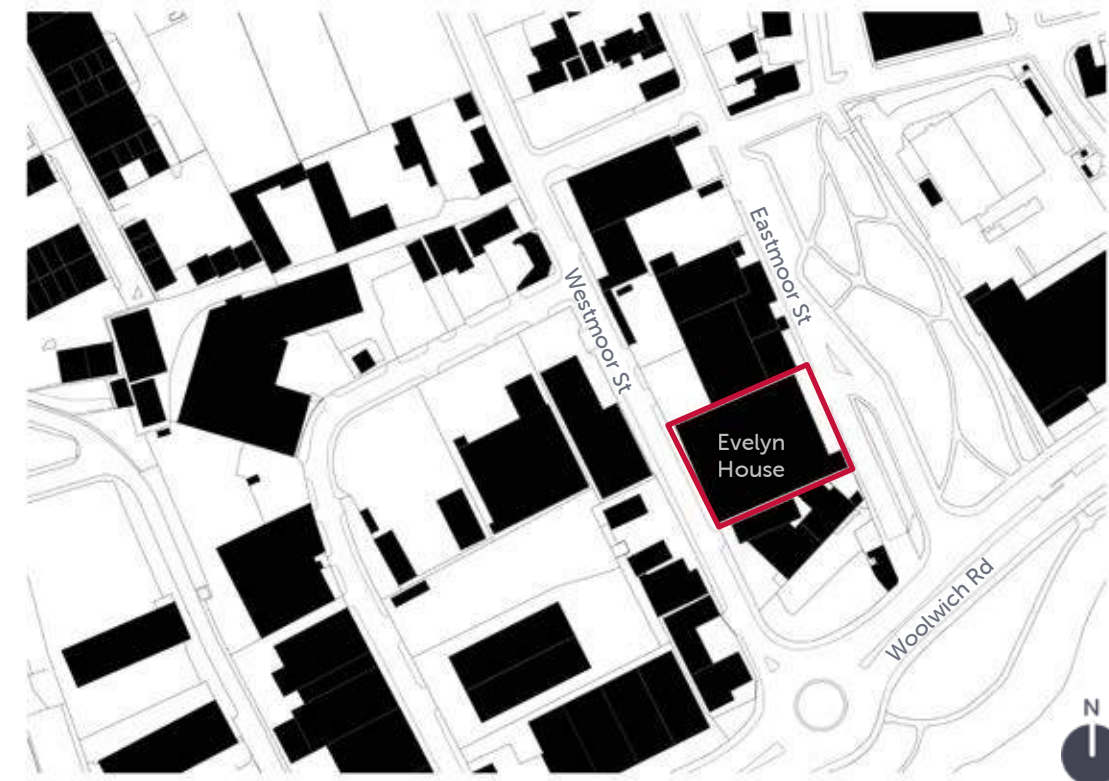


## 4.2 Site Analysis

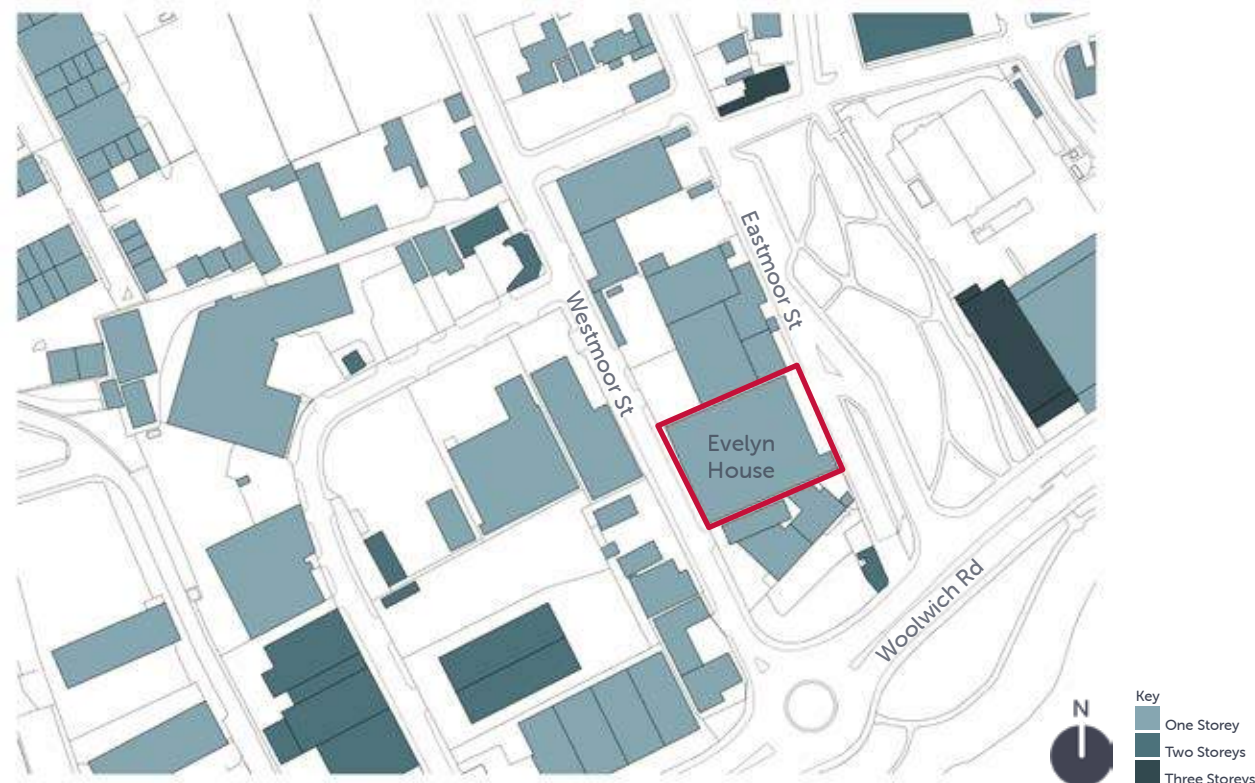
The adjacent diagrams have been developed to illustrate the existing context in terms of (1) urban grain, (2) building heights, (3) building uses, (4) vehicular, pedestrian and cycle routes, (5) parking spaces, and (6) amenity spaces.

Diagram (1) examines the urban grain, which has a loose and fragmented arrangement. It highlights a mix of large and small buildings, with the development site situated amongst a larger collection of buildings.

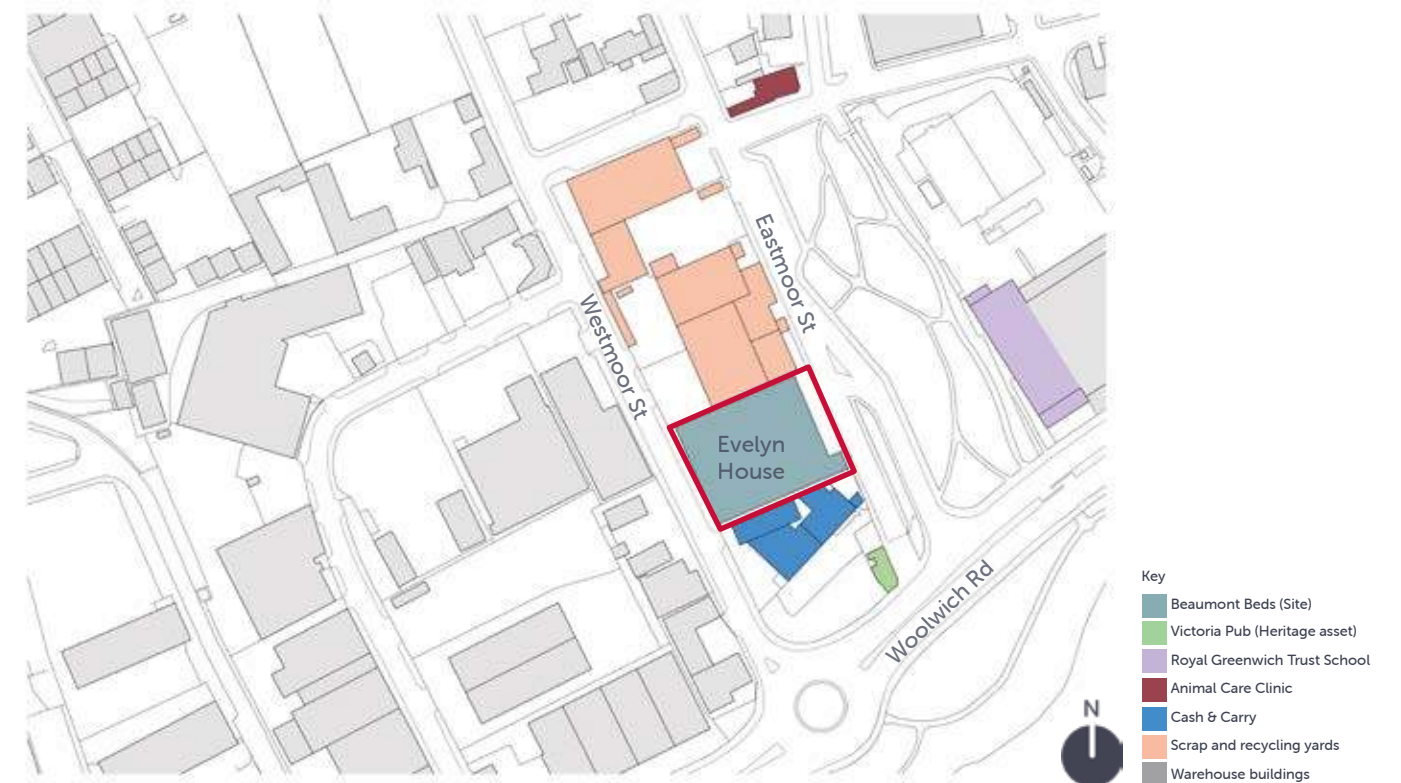
Diagram (2) indicates building heights, and Diagram (3) shows building uses. The site sits within a larger industrial area, with much of the surrounding buildings being used for industrial purposes. The surrounding buildings are low in height. A large majority constitute 1 storey, with several 2 and 3 storey buildings.



1. Urban Grain



2. Building Heights



3. Building Uses



## 4.2 Site Analysis

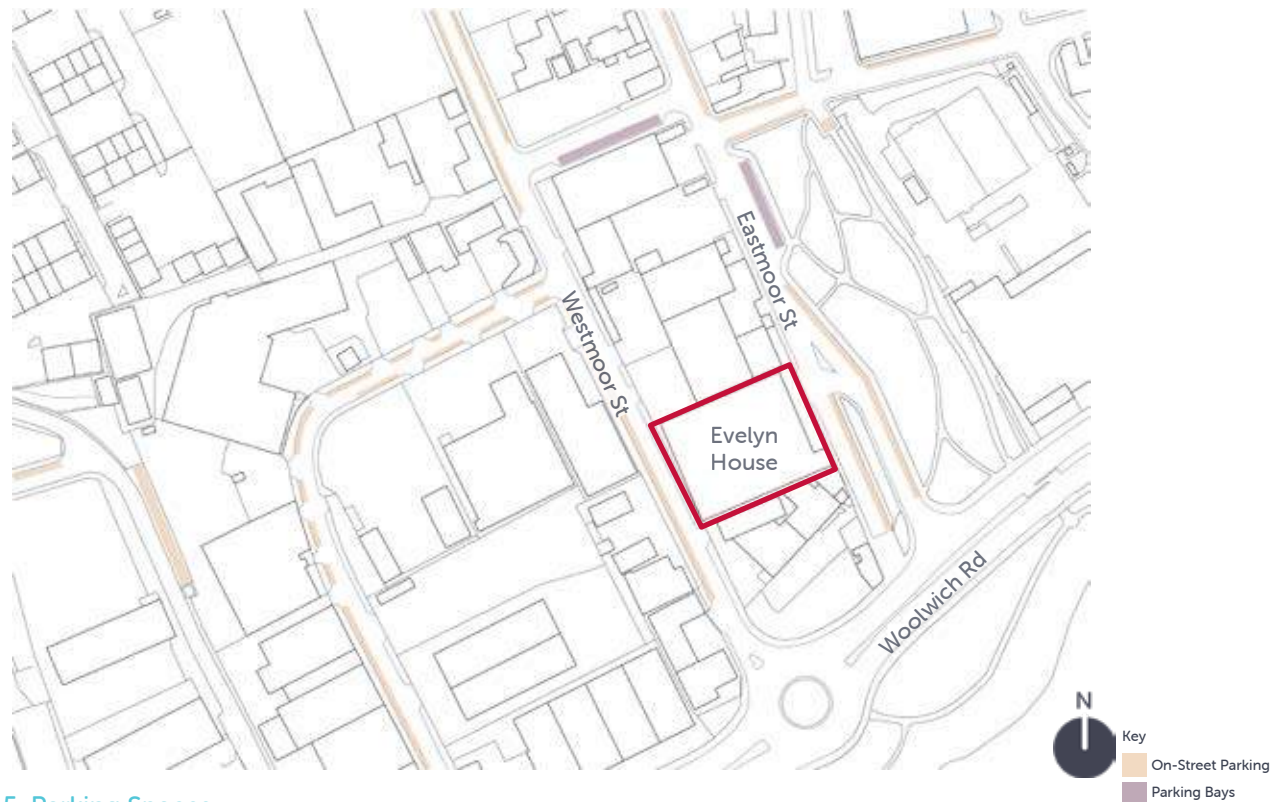
Diagram (4) focuses on vehicular, cycle and pedestrian routes. It highlights the proximity of the Site to the nearby Woolwich Road and how Westmoor Street seems the strongest route in providing direct vehicular access to the Site.

Diagram (5) explores the current parking provision in the surrounding area. The majority of local parking is on-street with a few allocated parking bays.

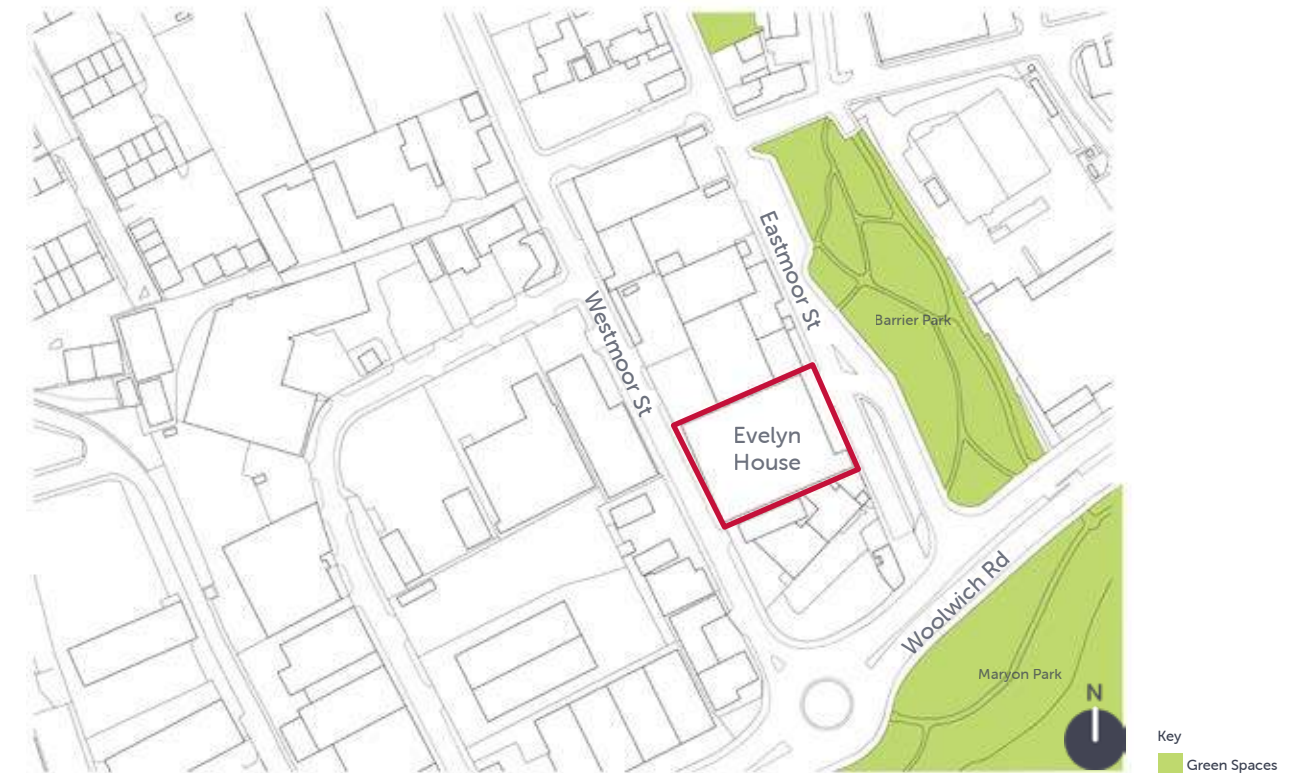
Diagram (6) examines the existing amenity space, identifying several open spaces, all of which are found in a north-south arrangement along the eastern side of the Site.



4. Vehicular, Cycle & Pedestrian Routes



5. Parking Spaces



6. Green Spaces













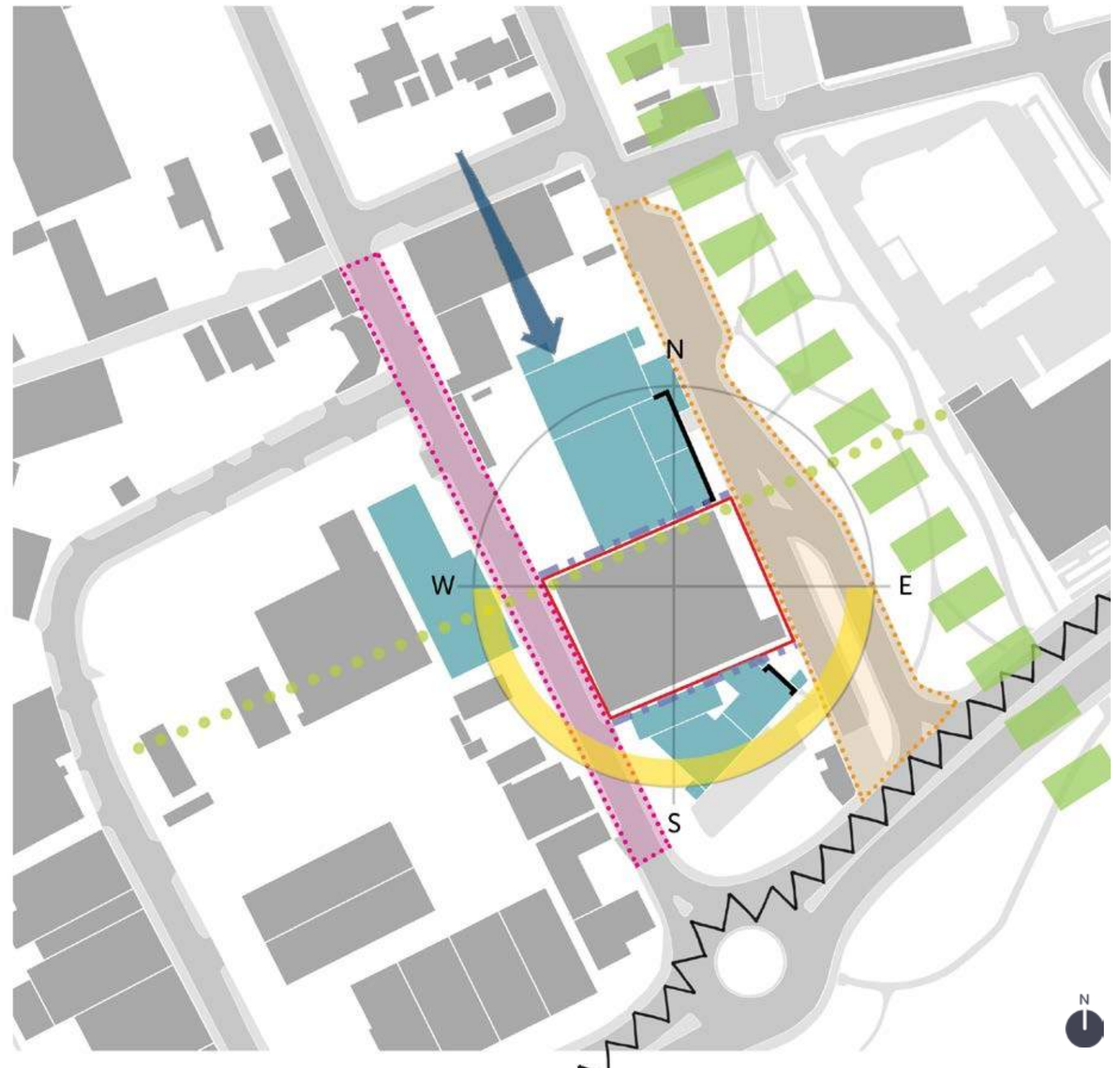
## 4.3 Constraints

As part of the site analysis, a number of site constraints were identified and require mindful consideration as part of the design process;

- > The close proximity of surrounding industrial buildings will need to be given due consideration as part of the proposal's design.
- > The surrounding industrial areas also present a challenge in providing active frontages to respond to
- > Site investigations have highlighted the poor physical quality of Westmoor Street
- > The Site currently sits within a level 3 flood zone. Although it benefits from flood defences, the nature of the ground floor will be impacted
- > Consideration will need to be given to the wider site aspirations established within the Charlton Riverside SPD

### Constraints

-  Warehouse buildings surround the site
-  Existing frontages
-  Floodzone 3
-  Sun path
-  Noise from A206 Woolwich Road
-  Westmoor Street of poor quality
-  SPD seeks to remove Eastmoor Street
-  SPD 3/4 storey height range
-  SPD 'green route'
-  SPD street networks





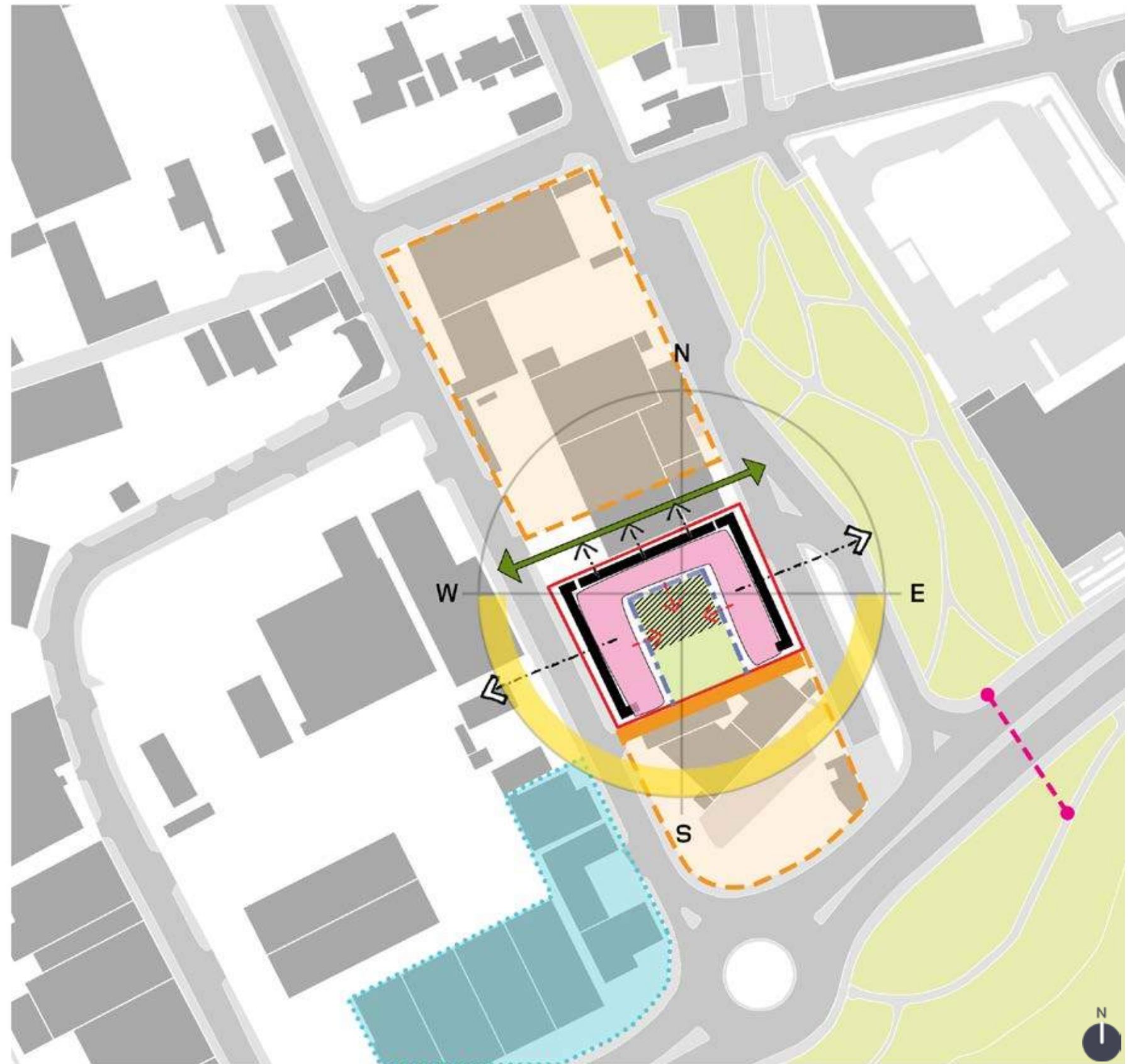
## 4.4 Opportunities

The site analysis also identified many opportunities to draw upon as part of the design process:

- > Opportunity to define and develop strong streetscapes and active frontages along Westmoor Street and Eastmoor Street
- > Potential to create a centrally placed podium to allow for private amenity space and courtyard views, which will also help to mitigate any possible overlooking issues
- > Ability to place car parking spaces within the development, underneath podium
- > Create new East-West link to the north of the proposed building

### Opportunities

-  Maximise active street frontages
-  Maximise building edges to the east and west
-  New development as per outlined SPD masterplan
-  Optimise external facades to increase aspects
-  Avoid overlooking issues by utilising inward looking views
-  Private parking underneath amenity space
-  Flank wall adjoining potential new development
-  New east-west link
-  Typical floor massing
-  Amenity space
-  Mass surrounding amenity space
-  Increase SPD height to denote entry point to masterplan & Thames Barrier Road
-  Bridge landing point to connect and improve accessibility to green space either side of Woolwich Road





## 5.0 Consultations



# 5.1 Massing Evolution

Existing



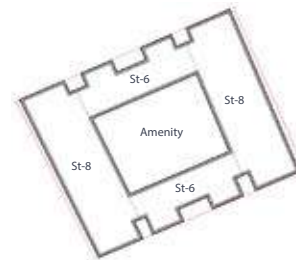
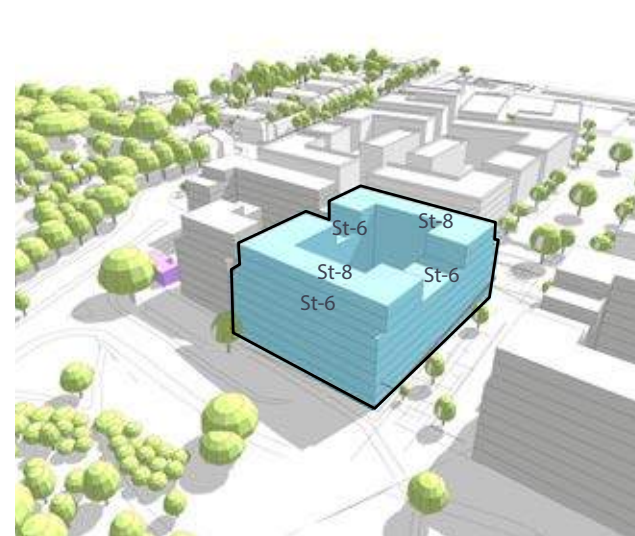
Storeys : 1  
Residential Units: 0  
Commercial Unit: 1

## Feasibility study

The site is located within the Charlton Industrial Estate. The existing building is a single storey industrial warehouse adjacent to a large green amenity space opposite to the east.

The study investigated the proposed demolition of the existing building, and the capacity of the site for residential development.

Pre-Application 01 proposal - Sept 2018



Storeys : 8  
Residential Units: 96  
Commercial Unit: 2

## Pre-Application 01 Comments

### Height and Massing

- Continuous mass not acceptable to Barrier Park edge;
- Building mass overwhelms the locally listed Victoria pub;
- Development scale at Evelyn House should be subservient to the building on the corner of Woolwich Road;
- Height should step down towards Eastmoor Street and Barrier Park to denote street hierarchy.

### Site layout

- Layout of the building should include a safeguarded strip to form part of the new east-west link;
- More connection required between the development and Barrier Park.

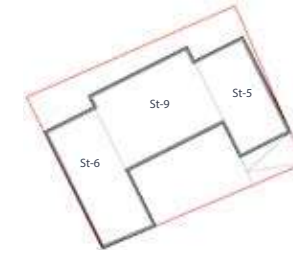
### Aspect and Amenity

- Aspect to the southern wing considered to be poor and may result in reduced natural lighting levels to the block;
- Further integration between scheme and park to create a mix of semi-private/public open space;
- Windows on boundaries and within light wells boundaries unlikely to be acceptable.

### Commercial floorspace

- Maximise commercial floor space, to be as close to current provision as possible.

Pre-Application 02 proposal - June 2019



Storeys : 9  
Residential Units: 78  
Commercial Unit: 4

## Pre-Application 02 Comments

### Height and Massing

- Overall proposed density of the scheme still above the level specified in the London Plan and SPD;
- The proposed 9 storey element clearly exceeds the recommended heights for the area set out in the SPD;
- Concerns remain about the scale of the proposal in relation to the nearby locally listed pub and the adjacent conservation area.

### Site layout

- Layout to include an equitable division of the east-west link between the proposed scheme and the adjacent site;
- Support of the open courtyard;
- Scheme to be revised to provide "true" dual aspects;

### Unit Mix

- The level of family sized units is below the aspirations for the Charlton Riverside area.

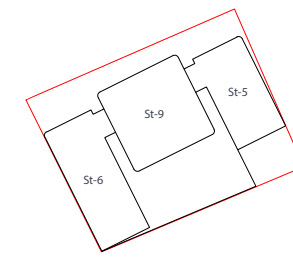
### Aspect and Amenity

- Further detail is required with regard the podium garden and the proposed ramp.

### Sustainability

- The proposed pitched roof to the 9 storey building may present difficulties in accommodating the requisite number of PV panels.

DRP proposal - September 2019



Storeys : 9  
Residential Units: 80  
Commercial Unit: 3

## DRP Comments

### Height and Massing

- Overloading of the site compromising public and residential amenity;
- The general principles and vision of the SPD should be maintained. An increase of height on Eastmoor Street could be appropriate.

### Site layout

- The built form occupies much of the schemes' red line. More onsite, ground level amenity, a robust central courtyard would cultivate community;
- A more 'broken' number of buildings with individual cores would be more reminiscent of the area's industrial heritage;
- Locate the main entrances on Eastmoor and Westmoor Streets.

### Aspect and Amenity

- Support of the proposed architectural language and use of materials;
- Support of walkway access;
- The proposal under-provides their portion of the east-west link.

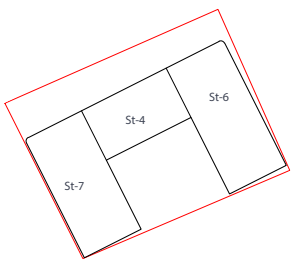
### Commercial floorspace

- Reconsider the design of the ground floor provision to ensure the spaces are flexible and able to accommodate a range of uses.



# 5.2 Public Consultation Feedback

Public Consultation - January 2020



Storeys : 7  
Residential Units: 67  
Commercial Unit: 2

## DRP Response & Public Consultation Comments

- Height and Massing:**
- Mass reduction on central element giving relief to the scheme and more natural light entering the courtyard.
  - Height reduced to central section to be in line with the SPD principles.
- Site layout:**
- Reduction of onsite footprint to provide more ground floor amenity space
  - Main entrances on Eastmoor and Westmoor Streets to activate public realm.
- Amenity:**
- The northern building edge has been pushed away from the site boundary (circa 8 meters in the middle point) in order to provide an overall width of circa 21 meters if the site next door follows the same principle.
  - Ground floor revised in order to be more flexible and accommodate a different range of uses.
- Internal layout:**
- Residents were concerned that a 'walkway access' scheme would attract anti-social behaviour and referenced local examples (typically 1960s schemes)
  - Optivo land development, sales and affordable housing teams (internal review process)
  - Sales team opposed to walkway access typology given that bedrooms sit along walkways (required to enable narrower homes, which would achieve the contract target)

Current Proposal - July 2020



Storeys : 7  
Residential Units: 67  
Commercial Unit: 2

## Recent design evolution

- Height and Massing**
- Although there have been internal reconfigurations, there have only been minor aesthetic amendments to the massing, and the height of the proposal has remained the same.
- Site layout**
- The building has been slightly rotated to improve relationships with the existing context, and future SPD proposals.
  - The northern edge now runs parallel with proposed building opposite, creating a clear route for the east-west link to Thames Barrier Park
  - The facade along Westmoor Street has remained in place, maintaining a strong frontage along this street
- Architectural narrative:**
- Architectural language and use of materials maintained.
- Internal layout**
- Following client and consultation feedback, the scheme has been reconfigured internally, moving from the walkway scheme to becomes a fully internally accessed scheme

Consultation Banners - January 2020





# 6.0 Design



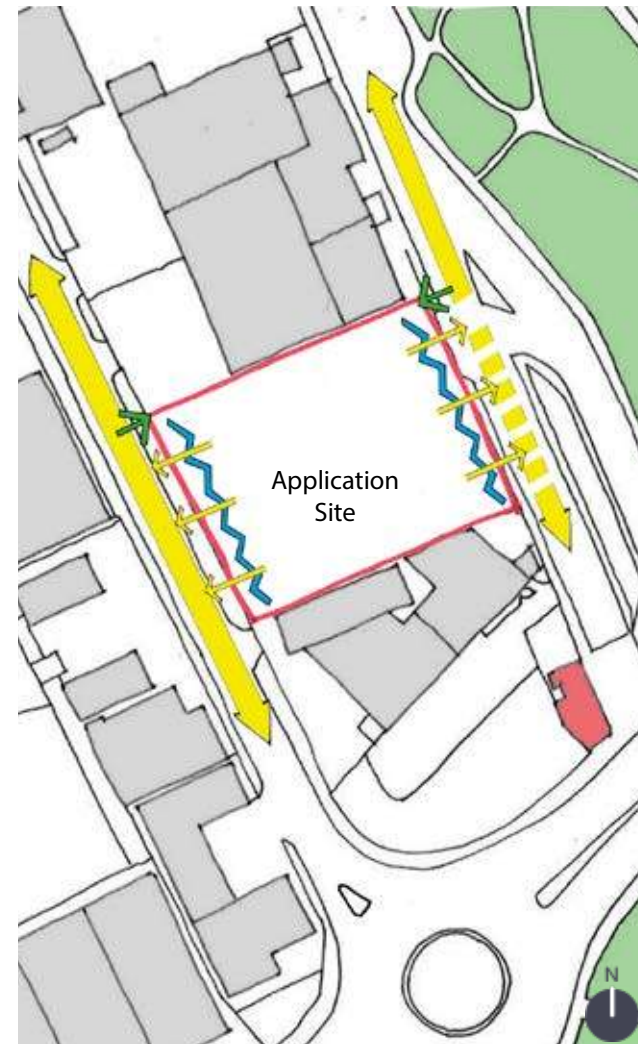
# 6.1 Site Response

## East-west Link



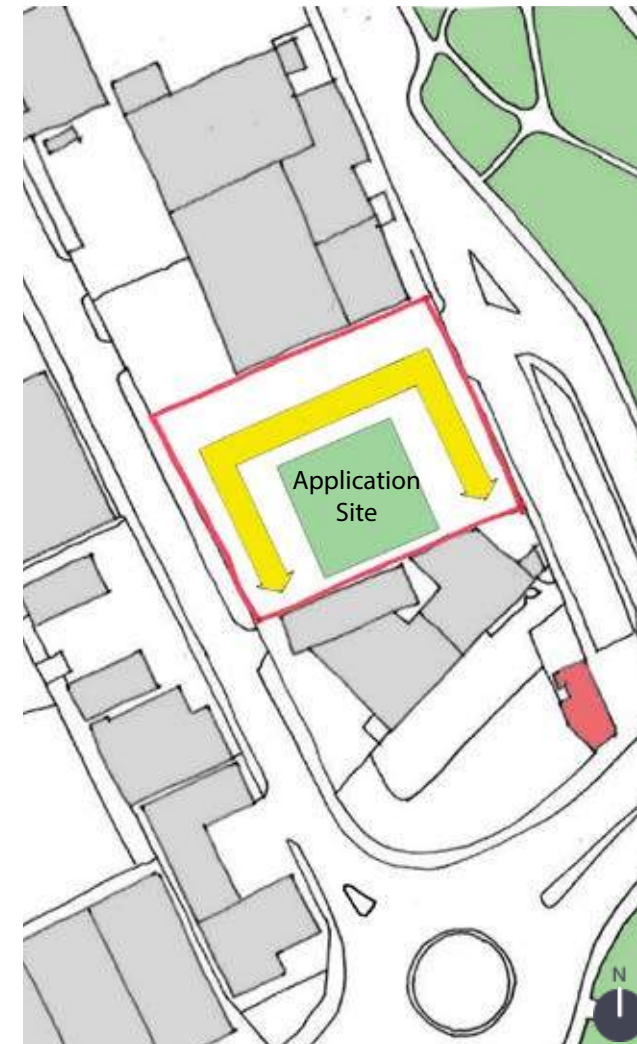
- > Allows for greater legibility of the building
- > Maximises daylight in homes

## Street Frontages



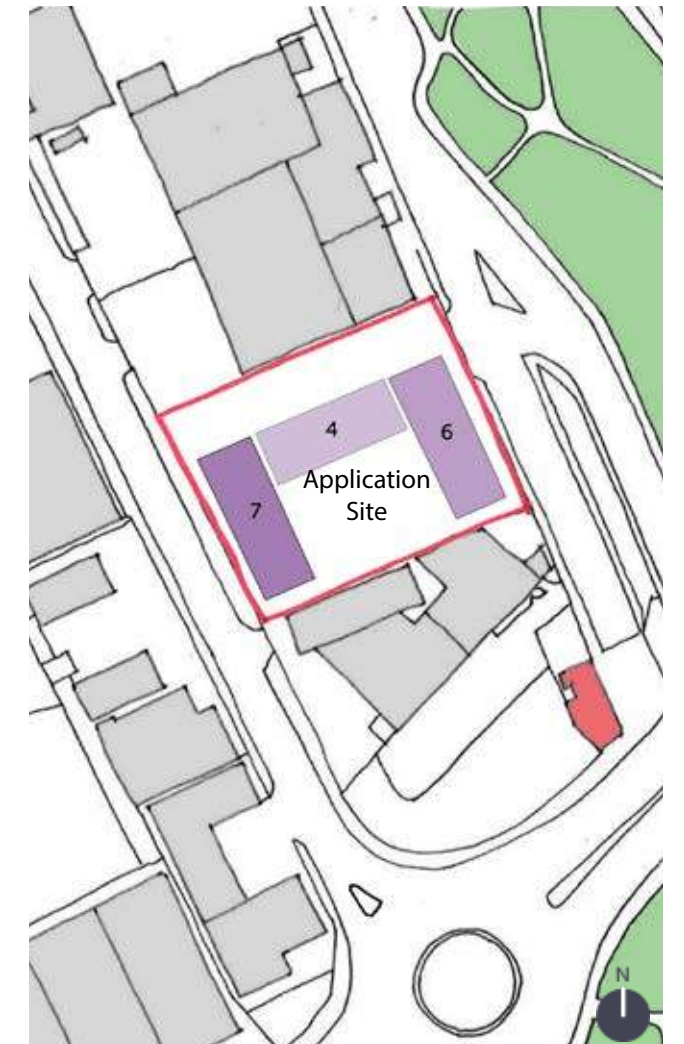
- > Allows for greater legibility of the building
- > Maximises daylight in homes

## Massing Response



- > Allows for greater legibility of the building
- > Maximises daylight in homes

## Massing Hierarchy

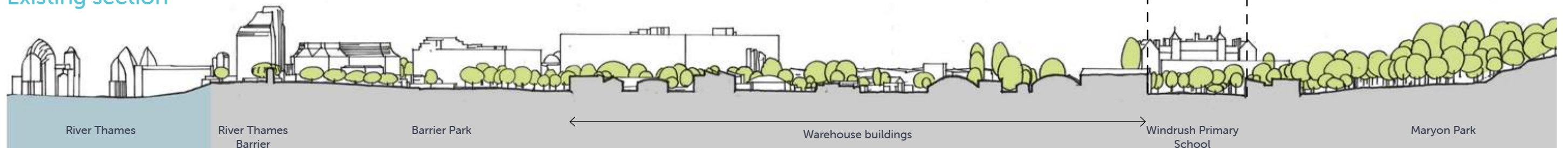


- > Allows for greater legibility of the building
- > Maximises daylight in homes

## Key

- Heritage Asset
- Proposed massing
- Active frontage - retail at Ground Floor
- Pedestrian access
- Courtyard at podium level

## Existing section





## 6.2 Design Development

### Existing Site Features

After studying the local context, the design team endeavoured to make subtle links to the findings;

- > The locally listed former public house The Victoria has inspired the use of rounded corners to establish links with the nearby historical building.
- > Strong horizontal aesthetic of existing industrial buildings can be referenced through fenestration design and arrangement
- > Use of brick detailing and two tone brick in conjunction with arrangement of stacking windows

### Precedents

These precedent images provide additional examples of elements that we have explored and feel would contribute to a rich and well formed design that responds well to the immediate context.

### Key features

- > Materials - Red and Buff brick
- > Rounded corner
- > Brick detailing
- > Stacking windows
- > Facade's horizontality

### Influences from surrounding context



Industrial building



Flats

### Precedents



Brick detailing

### BPTW Precedents



Example of alternating recessed brick detailing



Windrush Primary School



The Victoria Pub - locally listed building



Rounded corner



Example of inset balconies with soldier course brick



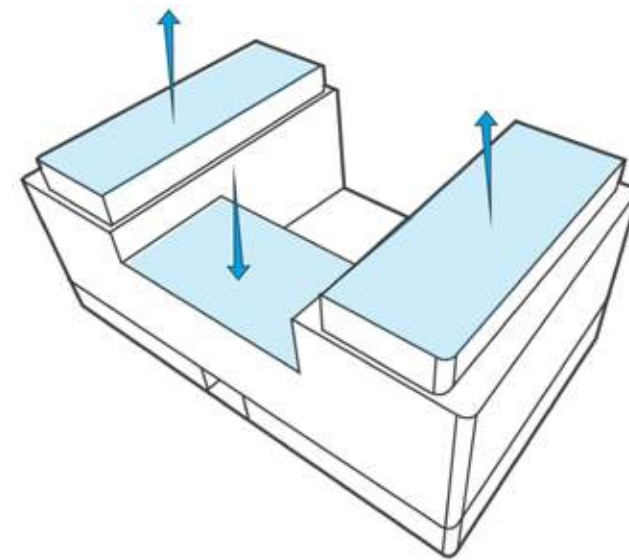
## 6.3 Massing Principles

Analysis of the existing and future surrounding context has enabled us to establish design principles that sculpt the massing of the proposal.

Much of the surrounding area is currently occupied by industrial buildings which have informed the design of the proposal. However, the design has been mindful of the nature of the future emerging context and the evolution the wider area will go through in the coming years. The proposal therefore also seeks to establish a new identity that could inspire a wider community of contemporary residential buildings to emerge as the Charlton Riverside masterplan evolves.

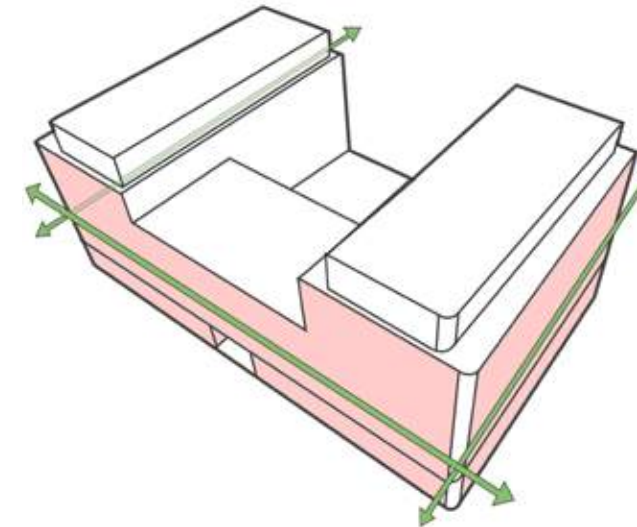
The building form is composed from a single volume wrapped around an inner courtyard space, with 3 main street frontages. This allows for the creation of a private communal podium in the centre. The U-shape form also allows for a greater number of dual aspect homes.

The form is subsequently divided at upper levels, with the two wings extruded to create strong, legible streetscapes along Eastmoor Street and Westmoor Street.



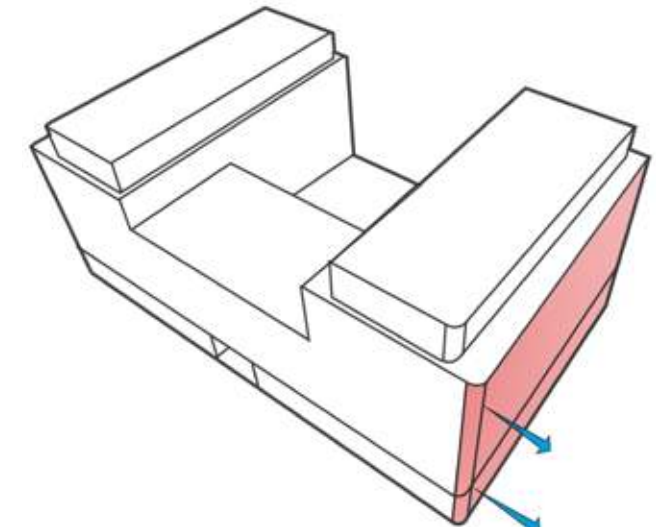
### Massing Articulation

- > Allows for greater legibility of the building
- > Maximises daylight in homes



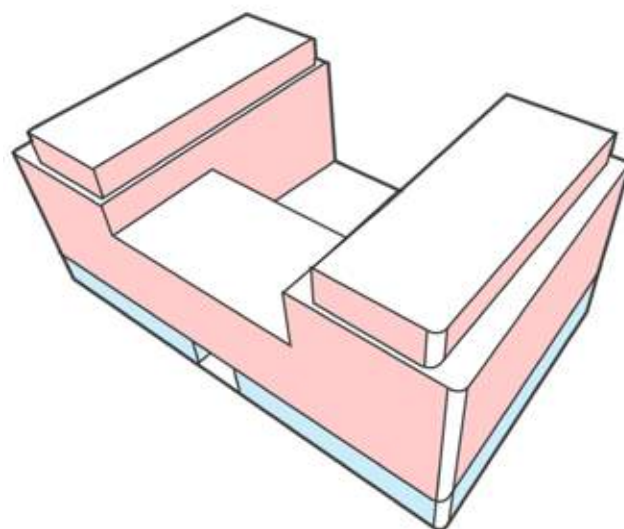
### Frontages

- > Encourages a strong and legible street presence



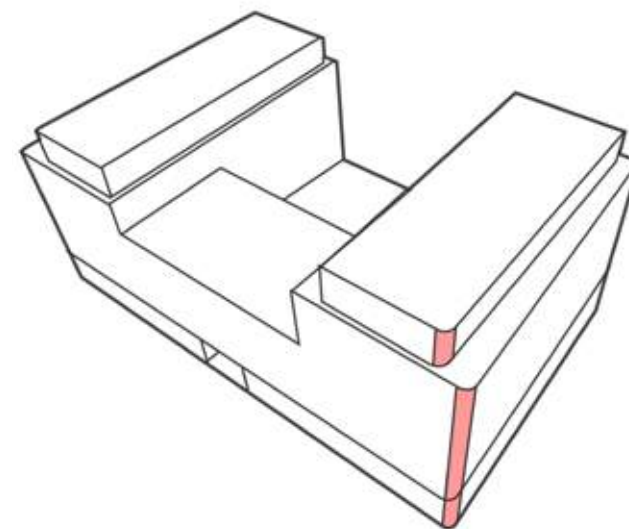
### Sculpted along site boundary

- > Slight angle introduced to maximise floor plan and improve physical relationship with buildings and new east-west link to the north.



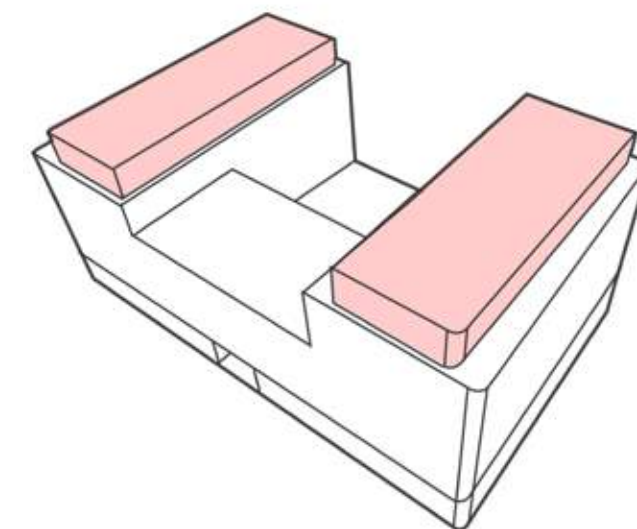
### Level composition

- > Materials - Red and Buff brick are used to differentiate between residential and ancillary / commercial uses.



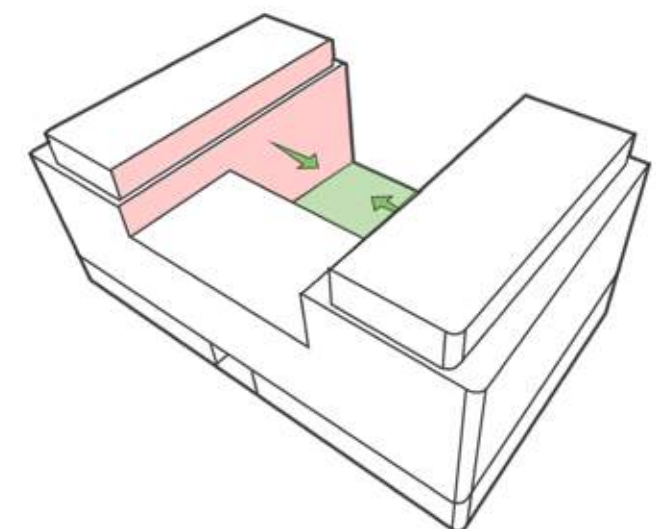
### Rounded Corners

- > Taken inspiration from locally listed former public house 'The Victoria' and evoke a sense of flow around the building's mass.



### Top Floor Setback

- > Increases permeability of light at street level
- > Contributes to elevational hierarchy



### Internal Courtyard

- > Creates private green residential amenity.
- > U-Shape block allows for a greater number of dual aspect homes



## 6.4 Materials, Colours & Detailing

Brick has been selected as the predominant external material across the scheme. As a material that is widely used across the wider Charlton area, brick offers both aesthetic and practical properties:

- > Proven versatile robust material
- > Minimal on-going maintenance required
- > Fire resistant, recyclable and offers insulating benefits

The colours and textures of the brick have been chosen to complement the existing context, and provide an identity that can be carried forward as the area evolves.

The proposal features a two tone brick approach, using red and cream coloured bricks. Additional relief and depth to the elevations are achieved through the use of different brick detailing techniques. These include inset panels, soldier coursing and recessed banded brick detailing. These details contribute to a strong sense of horizontality to the scheme which pays homage to the industrial heritage of the site.



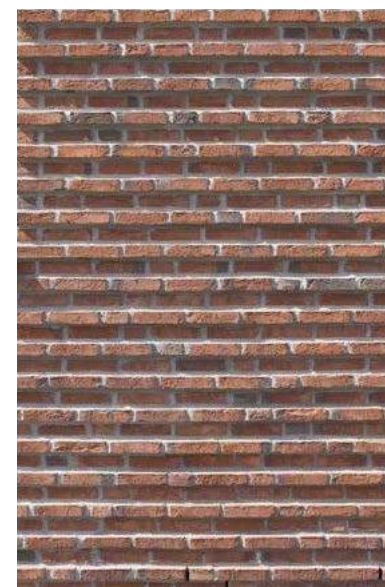
1 Red Brick



2 Alpine Grey Brick



3 Soldier Coursing Detail



4 Banded Brick Detail



5 Perforated Brick Detail



6 Recessed Brick Detail



## 6.5 Materials, Colours & Detailing



Westmoor Street View



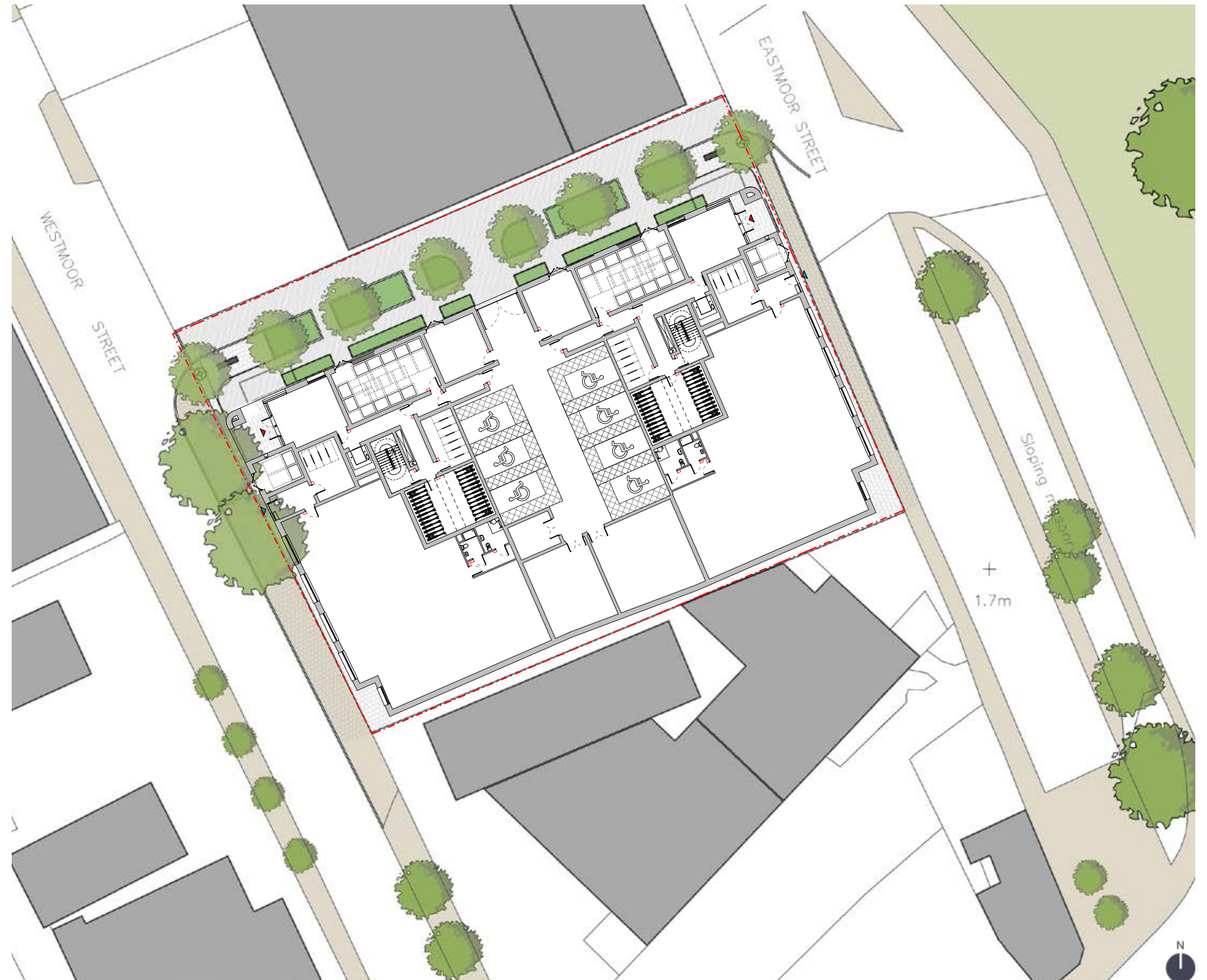
## 6.6 Ground Floor Plan

The ground floor layout contains two commercial spaces, located along and accessed from Eastmoor Street and Westmoor Street separately.

There are two residential entrances, with each serving a separate building core. The entrances are found on the corners of Eastmoor Street and Westmoor Street and the proposed east-west link. This new link will connect Westmoor Street with Eastmoor Street and provide direct access to Barrier Park.

The entrance to the car park is situated on the new east-west link, which can be accessed from Westmoor Street by vehicle.

The substation, switchroom and refuse stores are located along the northern frontage. The tank room and plant room are located along the southern edge, below the car park.





## 6.7 First Floor Plan (Podium Level)

The floor plan opposite is the first floor of the proposal, which contains access to the podium. The podium is accessible from both cores and is for communal use of all the residents.

This level contains 14 homes, which are a mixture of 1B2P, 2B3P, 3B4P and 3B5P flats. Of the 14 apartments on the first floor, 6 of these are wheelchair accessible homes, designed in accordance with Part M(4)3 of the Building Regulations. The wheelchair accessible flats consist of 1B2P and 3B4P homes.

The layout of each home is set out to maximise efficiency whilst adhering to the London Housing Design Guide. All apartments make the most of the available views, aspect and natural light within the site.

Homes that face inwards towards the podium have access to private amenity space that is separated from the communal area by defensible planting.





## 6.8 Typical Floor Plan

The typical floor plan (2nd and 3rd floor) also consists of 14 homes, which constitutes a mix of 1B2P, 2B3P, 3B5P and 3B6P apartments. 10 of these flats are dual aspect, benefiting from the U-shape form of the building's massing.

Homes located on the internal frontages have protruding balconies overlooking the podium space.

Outward facing homes located on the side flanks have inset balconies and homes located on the corners have protruding balconies overlooking the east-west link.





# 6.9 Elevations



Elevation AA



Elevation BB

NOTES	
---	Denotes potential future position of commercial loading bays
---	Denotes potential area for signage & louvres



# 6.10 Sections



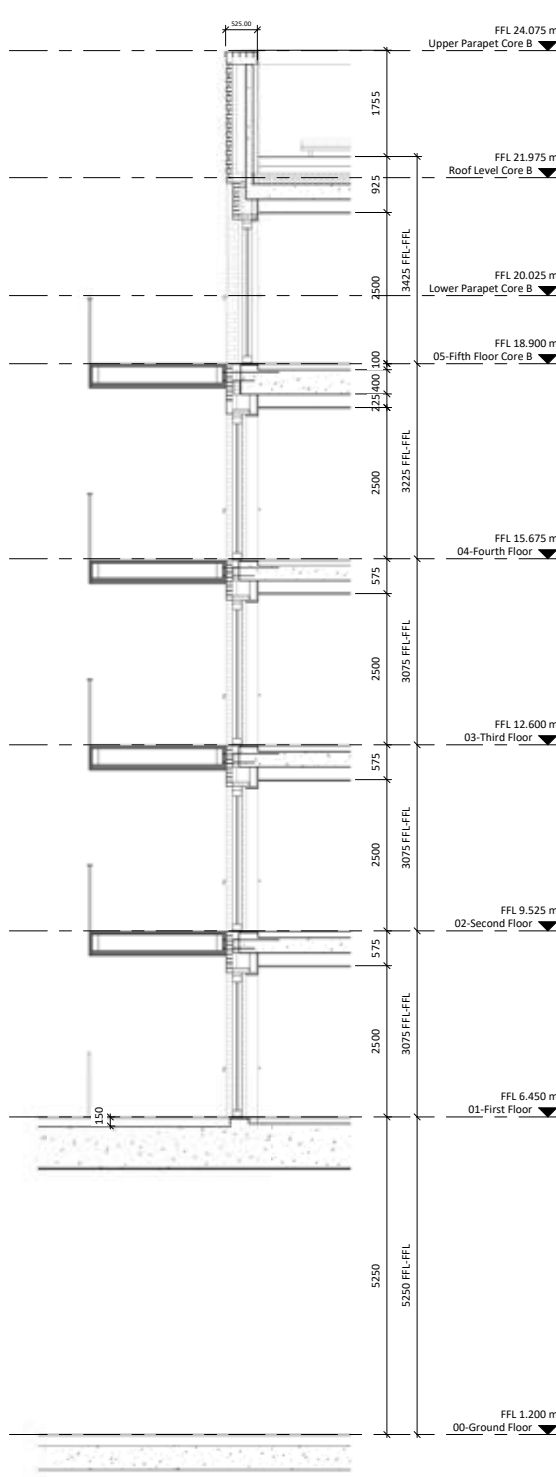
Section AA



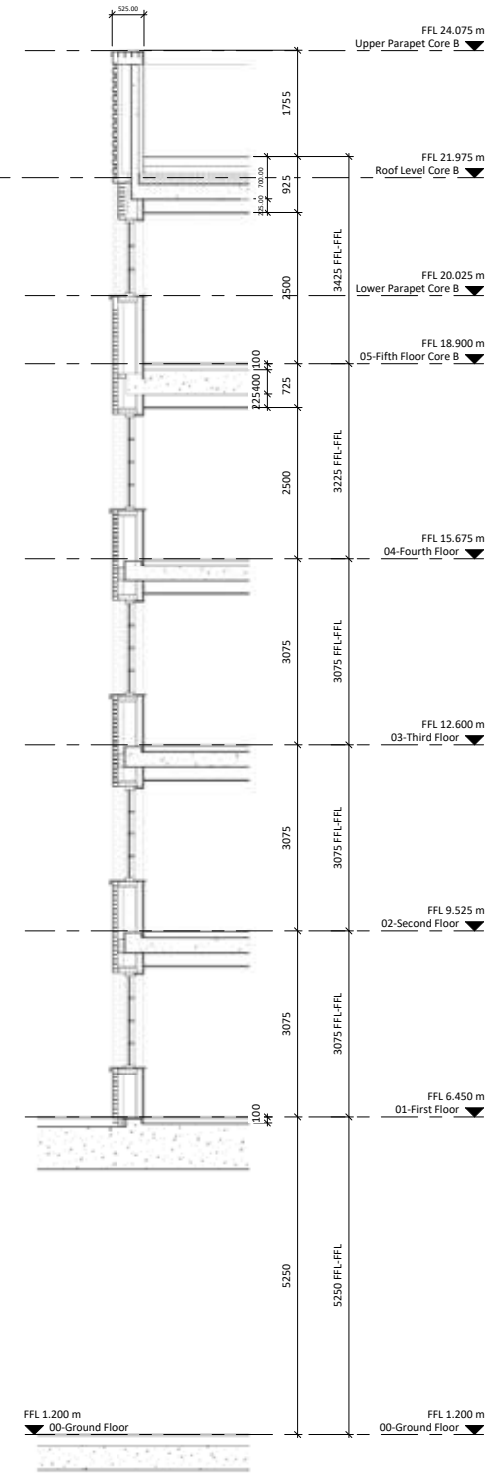
Section BB



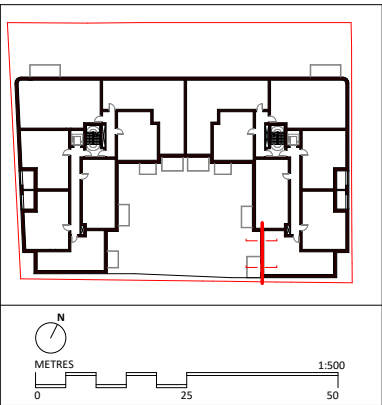
6.11 Bay Study A



Height Rod F-F  
1 : 50



Height Rod G-G  
1 : 50

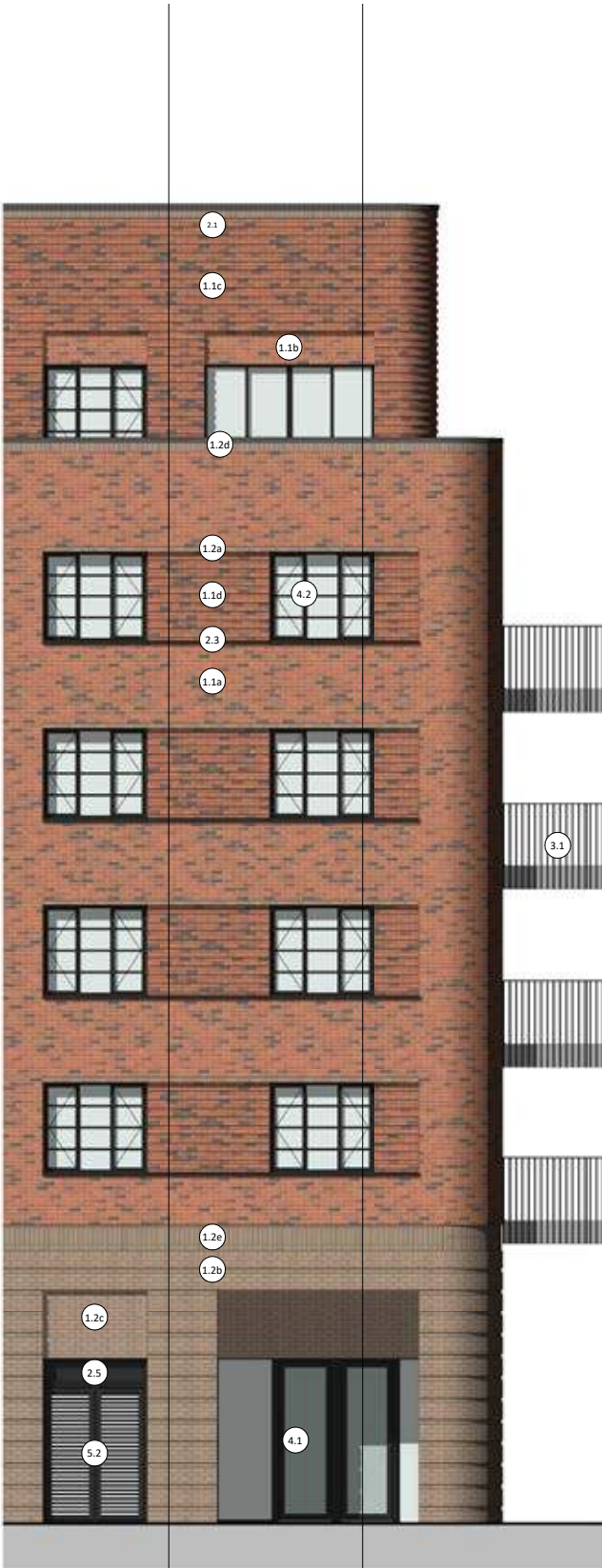


BRICK WALLS	BALUSTRADES AND COPINGS
<p>1.1 BRICK 01 - RED BRICK</p> <p>a. STRETCHER BOND</p> <p>b. RECESSED STRETCHER BOND</p> <p>c. ALTERNATE RECESSED STRETCHER BOND</p> <p>d. INSET ALTERNATE RECESSED STRETCHER BOND</p>	<p>2.1 BRICK PARAPET</p> <p>2.2 METAL RAILING - DARK GREY</p> <p>2.3 METAL COVER FLASHING - DARK GREY</p> <p>2.4 BALUSTRADE TO LANDSCAPE ARCHITECT'S SPECIFICATION</p> <p>2.5 METAL RISER PANEL - DARK GREY</p>
<p>1.2 BRICK 02 - CREAM BRICK</p> <p>a. STRETCHER BOND</p> <p>b. RECESSED BOND</p> <p>c. RECESSED STRETCHER BOND</p> <p>d. SOLDIER COURSE</p> <p>e. RECESSED DOUBLE SOLDIER COURSE</p>	<p>BALCONIES</p> <p>3.1 BALCONY 01 - CANTILEVERED BOLT ON BALCONY</p> <p>3.2 BALCONY 02 - RECESSED BALCONY METAL RAILINGS</p> <p>3.3 BALCONY 03 - RECESSED BALCONY BRICK PARAPET</p>

WINDOWS (WALLS & WINDOWS)	MATERIAL LEGEND:
<p>4.1 GLAZED CURTAIN WALL - DARK GREY</p> <p>4.2 WINDOW FRAME - DARK GREY</p> <p>4.3 METAL COVER FLASHING - DARK GREY</p>	<p>Brick 01 - Red Brick</p> <p>Brick 02 - Cream Brick</p> <p>Dark Grey Metal Panel</p> <p>Windows, Railings, Balustrades &amp; Wall Cappings</p>
<p>DOORS</p> <p>5.1 GLAZED DOOR - DARK GREY</p> <p>5.2 METAL LOUVRE DOOR - DARK GREY</p> <p>5.3 SOLID FRONT DOOR</p> <p>5.4 VENT DOOR - DARK GREY</p> <p>5.5 GLAZED SLIDING DOOR - DARK GREY</p>	



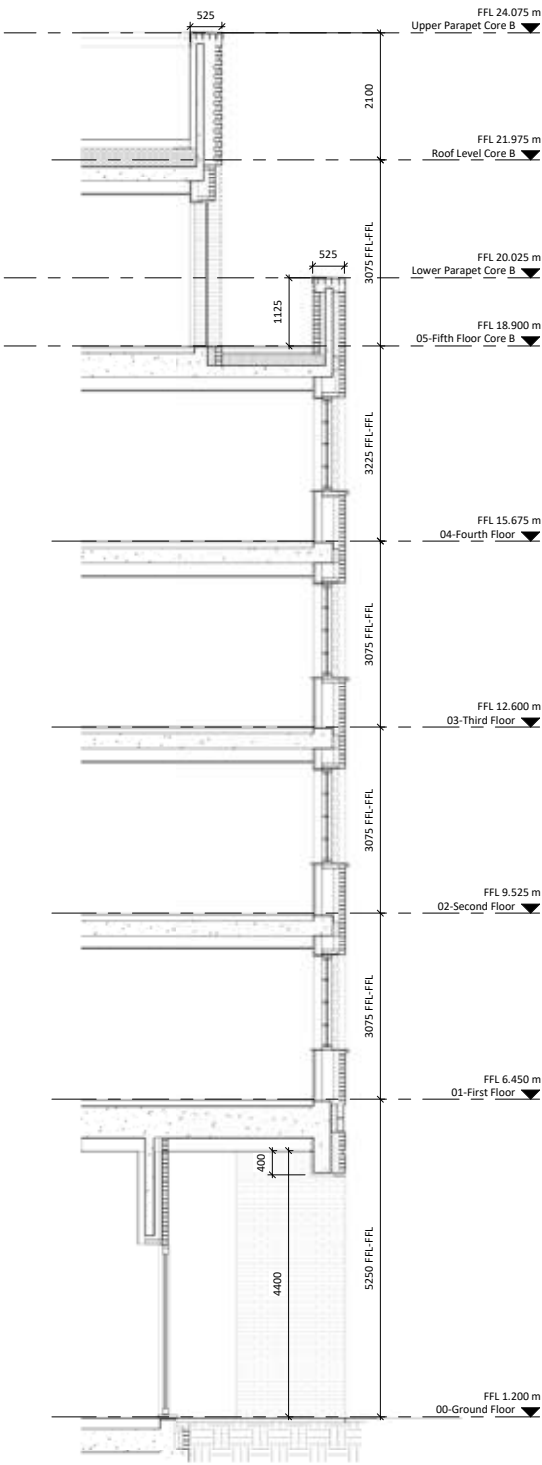
6.12 Bay Study B



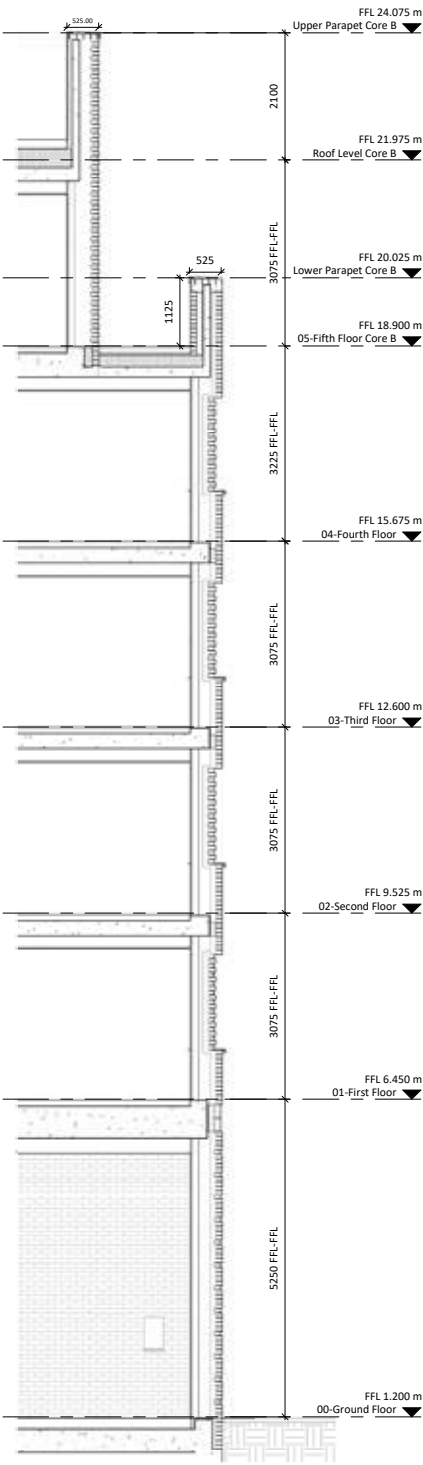
Section: Height Rod B-B  
REFER TO: D1400

Section: Height Rod A-A  
REFER TO: D1400

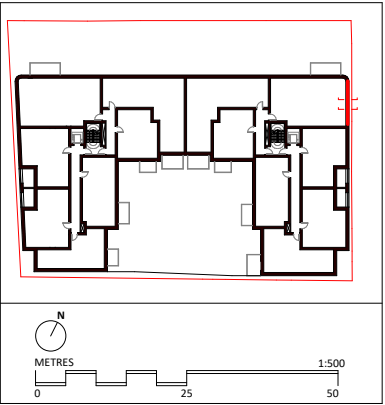
Bay Study 01 - Corner Elevation



Height Rod A-A



Height Rod B-B

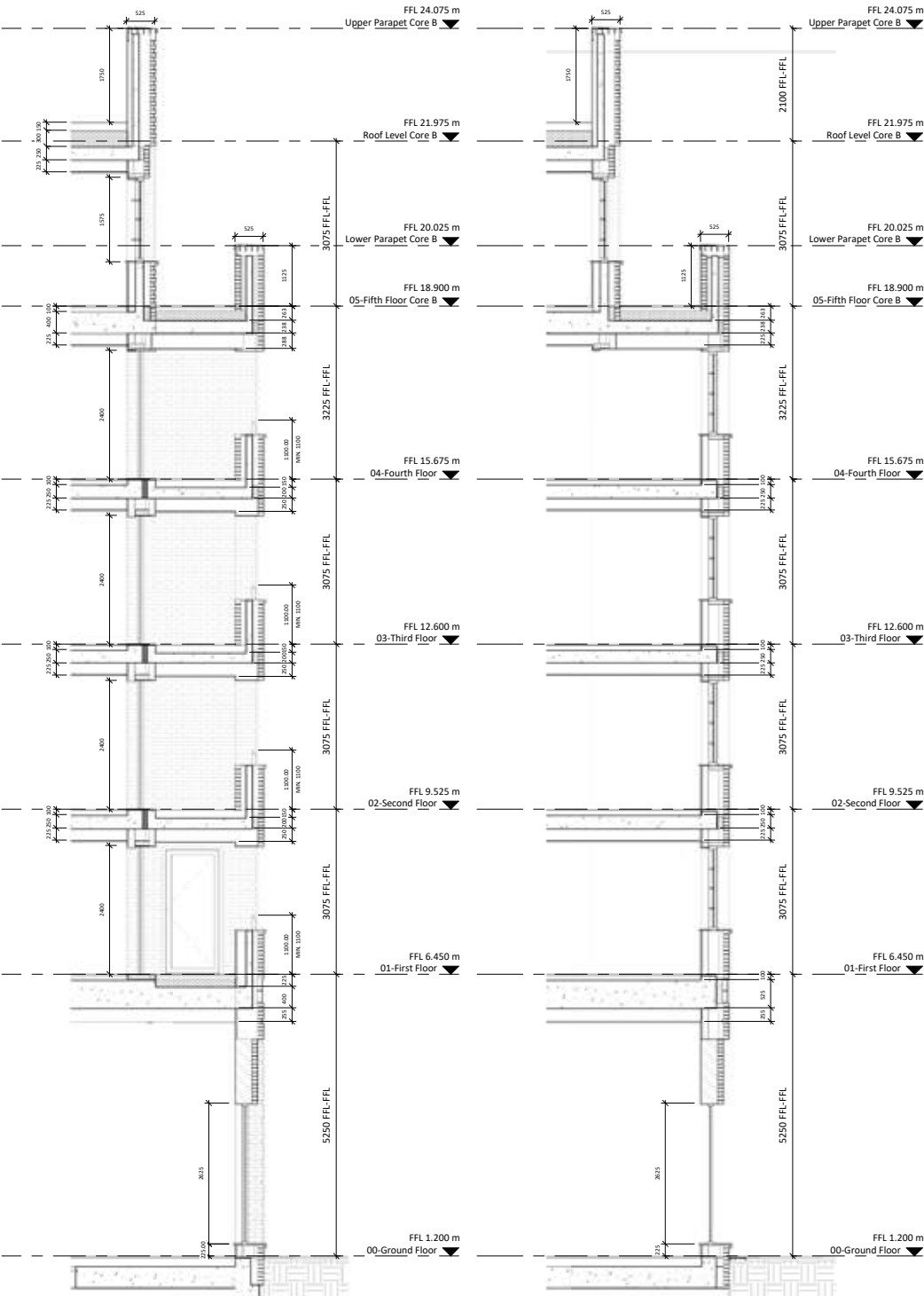
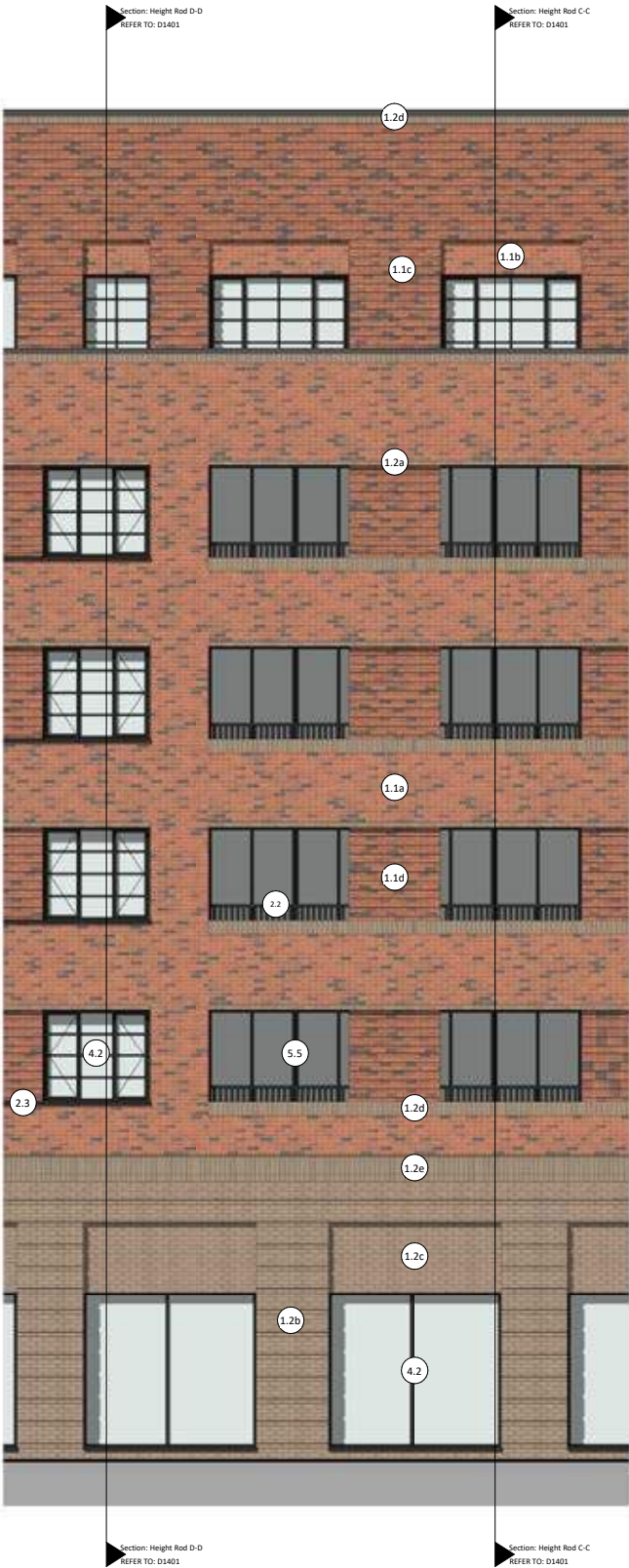


BRICK WALLS	BALUSTRADES AND COPINGS
<div>1.1</div> BRICK 01 - RED BRICK <div>a. STRETCHER BOND</div> <div>b. RECESSED STRETCHER BOND</div> <div>c. ALTERNATE RECESSED STRETCHER BOND</div> <div>d. INSET ALTERNATE RECESSED STRETCHER BOND</div>	<div>2.1</div> BRICK PARAPET <div>2.2</div> METAL RAILING - DARK GREY <div>2.3</div> METAL COVER FLASHING - DARK GREY <div>2.4</div> BALUSTRADE TO LANDSCAPE ARCHITECT'S SPECIFICATION <div>2.5</div> METAL RISER PANEL - DARK GREY
<div>1.2</div> BRICK 02 - CREAM BRICK <div>a. STRETCHER BOND</div> <div>b. RECESSED BOND</div> <div>c. RECESSED STRETCHER BOND</div> <div>d. SOLDIER COURSE</div> <div>e. RECESSED DOUBLE SOLDIER COURSE</div>	<div>BALCONIES</div> <div>3.1</div> BALCONY 01 - CANTILEVERED BOLT ON BALCONY <div>3.2</div> BALCONY 02 - RECESSED BALCONY METAL RAILINGS <div>3.3</div> BALCONY 03 - RECESSED BALCONY BRICK PARAPET

WINDOWS (WALLS & WINDOWS)	MATERIAL LEGEND:
<div>4.1</div> GLAZED CURTAIN WALL - DARK GREY <div>4.2</div> WINDOW FRAME - DARK GREY <div>4.3</div> METAL COVER FLASHING - DARK GREY	<div>Brick 01 - Red Brick</div> <div>Brick 02 - Cream Brick</div> <div>Dark Grey Metal Panel</div> <div>Windows, Railings</div> <div>Balustrades &amp; Wall Cappings</div>
DOORS	
<div>5.1</div> GLAZED DOOR - DARK GREY <div>5.2</div> METAL LOUVRE DOOR - DARK GREY <div>5.3</div> SOLID FRONT DOOR <div>5.4</div> VENT DOOR - DARK GREY <div>5.5</div> GLAZED SLIDING DOOR - DARK GREY	

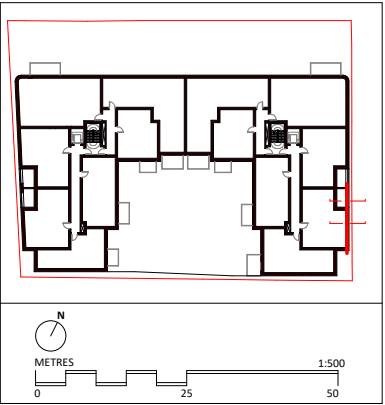


6.13 Bay Study C






Height Rod C-C  
1:50

Height Rod D-D  
1:50



BRICK WALLS	BALUSTRADES AND COPINGS
<div>1.1 BRICK 01 - RED BRICK</div> <div>a. STRETCHER BOND</div> <div>b. RECESSED STRETCHER BOND</div> <div>c. ALTERNATE RECESSED STRETCHER BOND</div> <div>d. INSET ALTERNATE RECESSED STRETCHER BOND</div>	<div>2.1 BRICK PARAPET</div> <div>2.2 METAL RAILING - DARK GREY</div> <div>2.3 METAL COVER FLASHING - DARK GREY</div> <div>2.4 BALUSTRADE TO LANDSCAPE ARCHITECT'S SPECIFICATION</div> <div>2.5 METAL RISER PANEL - DARK GREY</div>
<div>1.2 BRICK 02 - CREAM BRICK</div> <div>a. STRETCHER BOND</div> <div>b. RECESSED BOND</div> <div>c. RECESSED STRETCHER BOND</div> <div>d. SOLDIER COURSE</div> <div>e. RECESSED DOUBLE SOLDIER COURSE</div>	<div>BALCONIES</div> <div>3.1 BALCONY 01 - CANTILEVERED BOLT ON BALCONY</div> <div>3.2 BALCONY 02 - RECESSED BALCONY METAL RAILINGS</div> <div>3.3 BALCONY 03 - RECESSED BALCONY BRICK PARAPET</div>

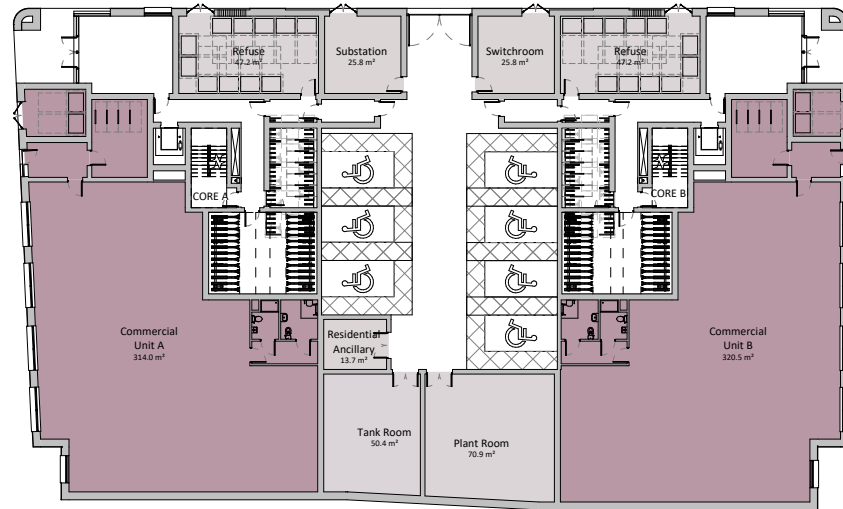
WINDOWS (WALLS & WINDOWS)	MATERIAL LEGEND:
<div>4.1 GLAZED CURTAIN WALL - DARK GREY</div> <div>4.2 WINDOW FRAME - DARK GREY</div> <div>4.3 METAL COVER FLASHING - DARK GREY</div>	<div> Brick 01 - Red Brick</div> <div> Brick 02 - Cream Brick</div> <div> Dark Grey Metal Panel</div> <div>Windows, Railings, Balustrades &amp; Wall Cappings</div>
DOORS	
<div>5.1 GLAZED DOOR - DARK GREY</div> <div>5.2 METAL LOUVRE DOOR - DARK GREY</div> <div>5.3 SOLID FRONT DOOR</div> <div>5.4 VENT DOOR - DARK GREY</div> <div>5.5 GLAZED SLIDING DOOR - DARK GREY</div>	



## 7.0 Internal Design



## 7.1 Proposed Accommodation Layout



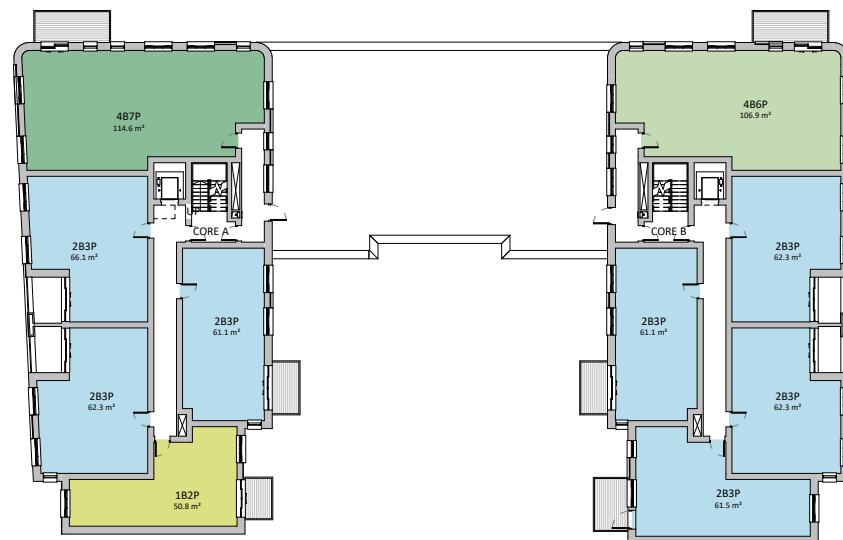
## Ground Floor Plan



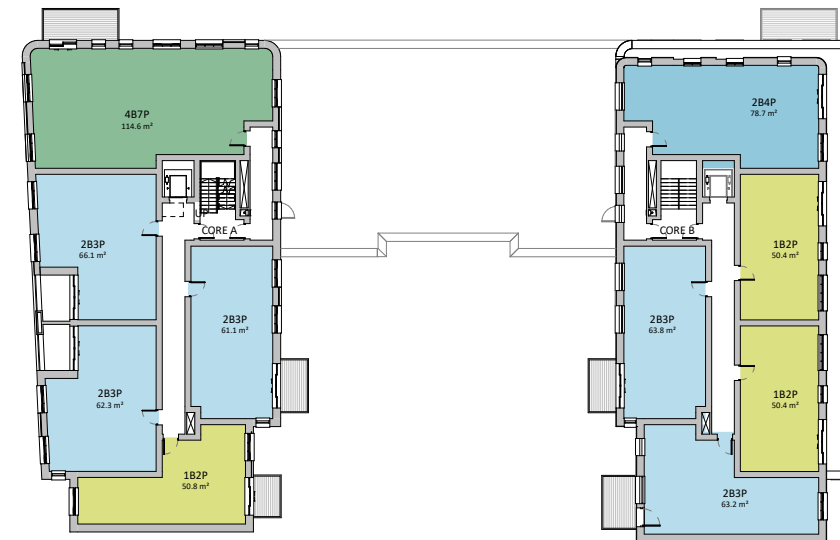
## First Floor Plan



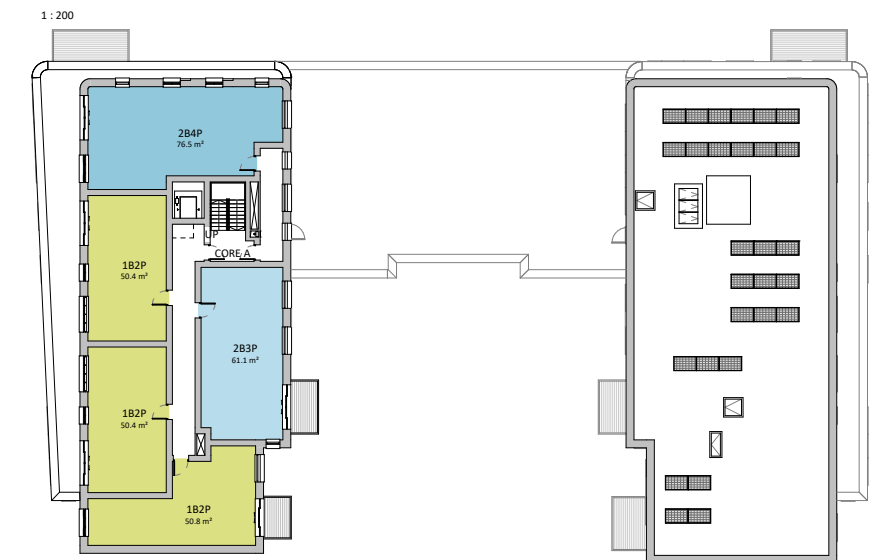
## Second & Third Floor Plan



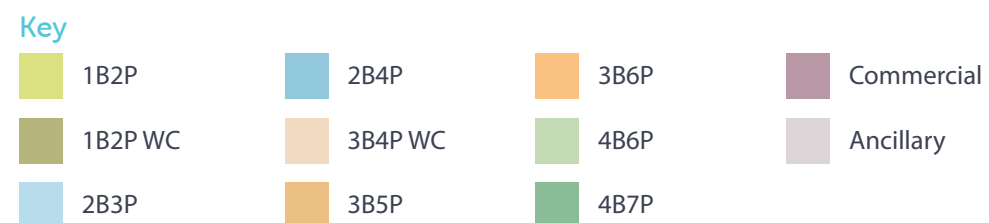
## Fourth Floor Plan



## Fifth Floor Plan



## Sixth Floor Plan





# 7.2 Proposed Schedules

## Accommodation Schedule

Accommodation Mix - Core A (Westmoor Street)	1b/2p flat	2b/3p flat	2b/4p flat	3b/5p flat	3b/6p flat	4b/6p flat	4b/7p flat	1b/2p WC flat	3b/4p WC flat		total units	total hr	1b units	2b units	3b units
Additional units															
Affordable	12	13	1	3	2	0	2	2	1		36	88	33%	44%	11%
Total units	12	13	1	3	2	0	2	2	1		36		33%	44%	11%
Habitable rooms	24	39	3	12	8	0	10	6	4			106 2.94			
Accommodation Mix - Core B (Eastmoor Street)	1b/2p flat	2b/3p flat	2b/4p flat	3b/5p flat	3b/6p flat	4b/6p flat	4b/7p flat	1b/2p WC flat	3b/4p WC flat		total units	total hr	1b units	2b units	3b units
Additional units															
Affordable	6	15	1	5	0	1	0	2	1		31	95	19%	58%	19%
Total units	6	15	1	5	0	1	0	2	1		31		19%	58%	19%
Habitable rooms	12	45	3	20	0	5	0	6	4			95 3.06			
Accommodation Mix - Option 2	1b/2p flat	2b/3p flat	2b/4p flat	3b/5p flat	3b/6p flat	4b/6p flat	4b/7p flat	1b/2p WC flat	3b/4p WC flat		total units	total hr	1b units	2b units	3b units
Additional units															
Affordable	18	28	2	8	2	1	2	4	2		67	183	27%	51%	15%
Total units	18	28	2	8	2	1	2	4	2		67		27%	51%	15%
Habitable rooms	36	84	6	32	8	5	10	12	8			201 3.00			

## Plot Schedule

Plot Number	Core	Level	Flat Size	Area	Tenure	Flat Type
1	A	01-First Floor	1B2P	50.8 m²	Affordable Rent	FT 001
2	A	01-First Floor	1B2P W/C	62.3 m²	Affordable Rent	FT 014
3	A	01-First Floor	1B2P	56.0 m²	Affordable Rent	FT 003
4	A	01-First Floor	1B2P W/C	66.1 m²	Affordable Rent	FT 015
5	A	01-First Floor	3B4P W/C	101.4 m²	Affordable Rent	FT 016
6	A	01-First Floor	1B2P	50.5 m²	Affordable Rent	FT 006
7	A	01-First Floor	3B5P	97.0 m²	Affordable Rent	FT 005
8	B	01-First Floor	3B5P	97.0 m²	Affordable Rent	FT 005
9	B	01-First Floor	1B2P	50.5 m²	Affordable Rent	FT 006
10	B	01-First Floor	3B4P W/C	93.8 m²	Affordable Rent	FT 004
11	B	01-First Floor	1B2P W/C	62.3 m²	Affordable Rent	FT 002
12	B	01-First Floor	1B2P	56.0 m²	Affordable Rent	FT 003
13	B	01-First Floor	1B2P W/C	62.3 m²	Affordable Rent	FT 002
14	B	01-First Floor	2B3P	61.5 m²	Affordable Rent	FT 007
15	A	02-Second Floor	1B2P	50.8 m²	Affordable Rent	FT 001
16	A	02-Second Floor	2B3P	62.3 m²	Affordable Rent	FT 017
17	A	02-Second Floor	2B3P	61.1 m²	Affordable Rent	FT 009
18	A	02-Second Floor	2B3P	66.1 m²	Affordable Rent	FT 018
19	A	02-Second Floor	3B6P	101.4 m²	Affordable Rent	FT 019
20	A	02-Second Floor	1B2P	50.5 m²	Affordable Rent	FT 006
21	A	02-Second Floor	3B5P	97.0 m²	Affordable Rent	FT 005
22	B	02-Second Floor	3B5P	97.0 m²	Affordable Rent	FT 005
23	B	02-Second Floor	1B2P	50.5 m²	Affordable Rent	FT 006
24	B	02-Second Floor	3B5P	93.8 m²	Affordable Rent	FT 010
25	B	02-Second Floor	2B3P	62.3 m²	Affordable Rent	FT 008
26	B	02-Second Floor	2B3P	61.1 m²	Affordable Rent	FT 009
27	B	02-Second Floor	2B3P	62.3 m²	Affordable Rent	FT 008
28	B	02-Second Floor	2B3P	61.5 m²	Affordable Rent	FT 007

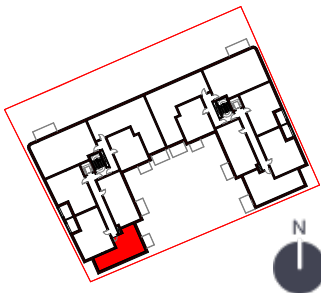
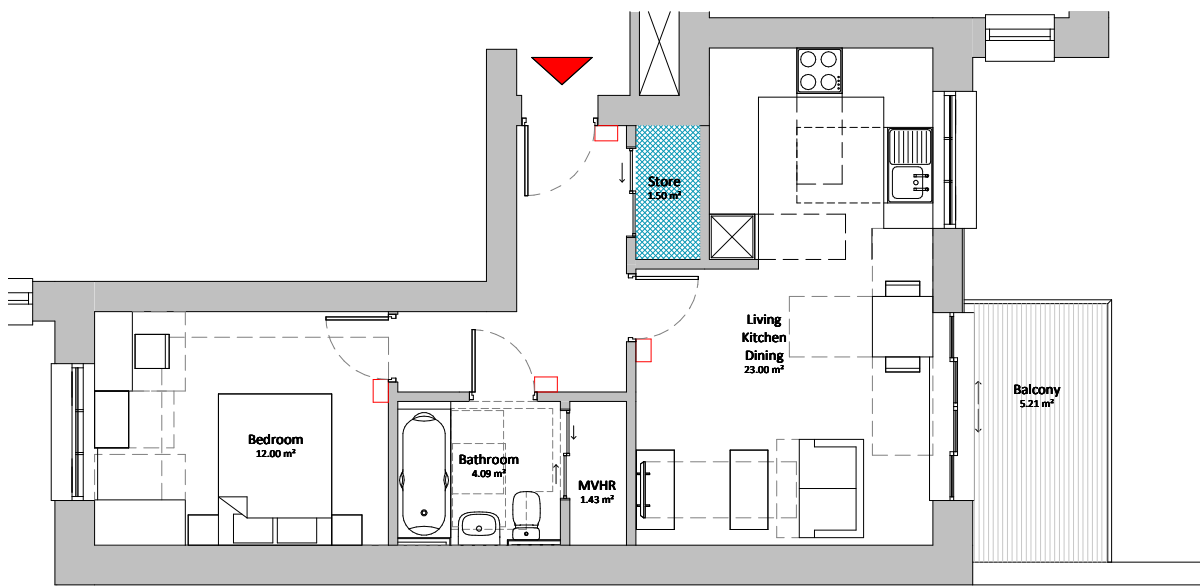
Plot Number	Core	Level	Flat Size	Area	Tenure	Flat Type
29	A	03-Third Floor	1B2P	50.8 m²	Affordable Rent	FT 001
30	A	03-Third Floor	2B3P	62.3 m²	Affordable Rent	FT 017
31	A	03-Third Floor	2B3P	61.1 m²	Affordable Rent	FT 009
32	A	03-Third Floor	2B3P	66.1 m²	Affordable Rent	FT 018
33	A	03-Third Floor	3B6P	101.5 m²	Affordable Rent	FT 019
34	A	03-Third Floor	1B2P	50.5 m²	Affordable Rent	FT 006
35	A	03-Third Floor	3B5P	97.0 m²	Affordable Rent	FT 005
36	B	03-Third Floor	3B5P	97.0 m²	Affordable Rent	FT 005
37	B	03-Third Floor	1B2P	50.5 m²	Affordable Rent	FT 006
38	B	03-Third Floor	3B5P	93.8 m²	Affordable Rent	FT 010
39	B	03-Third Floor	2B3P	62.3 m²	Affordable Rent	FT 008
40	B	03-Third Floor	2B3P	61.2 m²	Affordable Rent	FT 009
41	B	03-Third Floor	2B3P	62.3 m²	Affordable Rent	FT 008
42	B	03-Third Floor	2B3P	61.5 m²	Affordable Rent	FT 007
43	A	04-Fourth Floor	1B2P	50.8 m²	Affordable Rent	FT 001
44	A	04-Fourth Floor	2B3P	62.3 m²	Affordable Rent	FT 017
45	A	04-Fourth Floor	2B3P	61.1 m²	Affordable Rent	FT 009
46	A	04-Fourth Floor	2B3P	66.1 m²	Affordable Rent	FT 018
47	A	04-Fourth Floor	4B7P	114.6 m²	Affordable Rent	FT 020
48	B	04-Fourth Floor	4B6P	106.9 m²	Affordable Rent	FT 011
49	B	04-Fourth Floor	2B3P	62.3 m²	Affordable Rent	FT 008
50	B	04-Fourth Floor	2B3P	61.1 m²	Affordable Rent	FT 009
51	B	04-Fourth Floor	2B3P	62.3 m²	Affordable Rent	FT 008
52	B	04-Fourth Floor	2B3P	61.5 m²	Affordable Rent	FT 007

Plot Number	Core	Level	Flat Size	Area	Tenure	Flat Type
53	A	05-Fifth Floor	1B2P	50.8 m²	Affordable Rent	FT 001
54	A	05-Fifth Floor	2B3P	62.3 m²	Affordable Rent	FT 017
55	A	05-Fifth Floor	2B3P	61.1 m²	Affordable Rent	FT 009
56	A	05-Fifth Floor	2B3P	66.1 m²	Affordable Rent	FT 018
57	A	05-Fifth Floor	4B7P	114.6 m²	Affordable Rent	FT 020
58	B	05-Fifth Floor	2B4P	78.7 m²	Affordable Rent	FT 012
59	B	05-Fifth Floor	1B2P	50.4 m²	Affordable Rent	FT 013
60	B	05-Fifth Floor	2B3P	63.8 m²	Affordable Rent	FT 009
61	B	05-Fifth Floor	1B2P	50.4 m²	Affordable Rent	FT 013
62	B	05-Fifth Floor	2B3P	63.2 m²	Affordable Rent	FT 007
63	A	06-Sixth Floor	1B2P	50.8 m²	Affordable Rent	FT 001
64	A	06-Sixth Floor	1B2P	50.4 m²	Affordable Rent	FT 013
65	A	06-Sixth Floor	2B3P	61.1 m²	Affordable Rent	FT 009
66	A	06-Sixth Floor	1B2P	50.4 m²	Affordable Rent	FT 013
67	A	06-Sixth Floor	2B4P	76.5 m²	Affordable Rent	FT 012



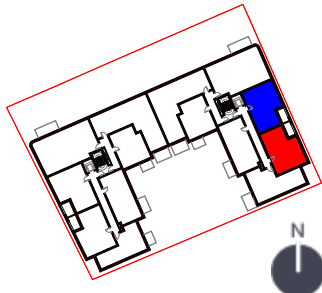
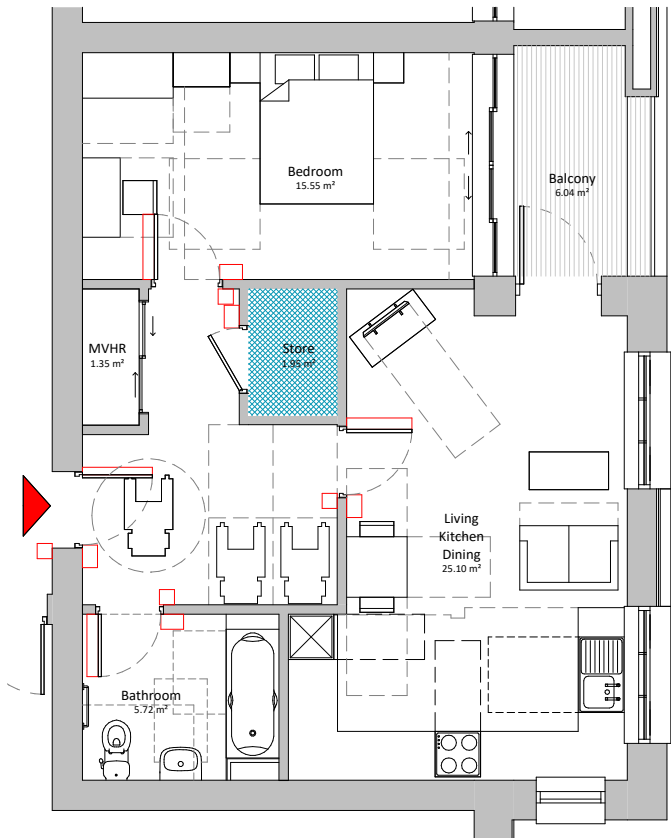
# 7.3 Proposed Flat Types - 01 & 02

Flat Type 01



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 001
OCCUPANCY	1B2P
TENURE	Affordable Rent
BLOCK	
AREA	50.8 m²
LEVELS	01 - 06
PLOTS (AS SHOWN)	01, 15, 29, 43, 53, 63
PLOTS (HANCED)	

Flat Type 02

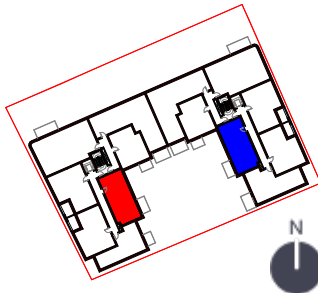
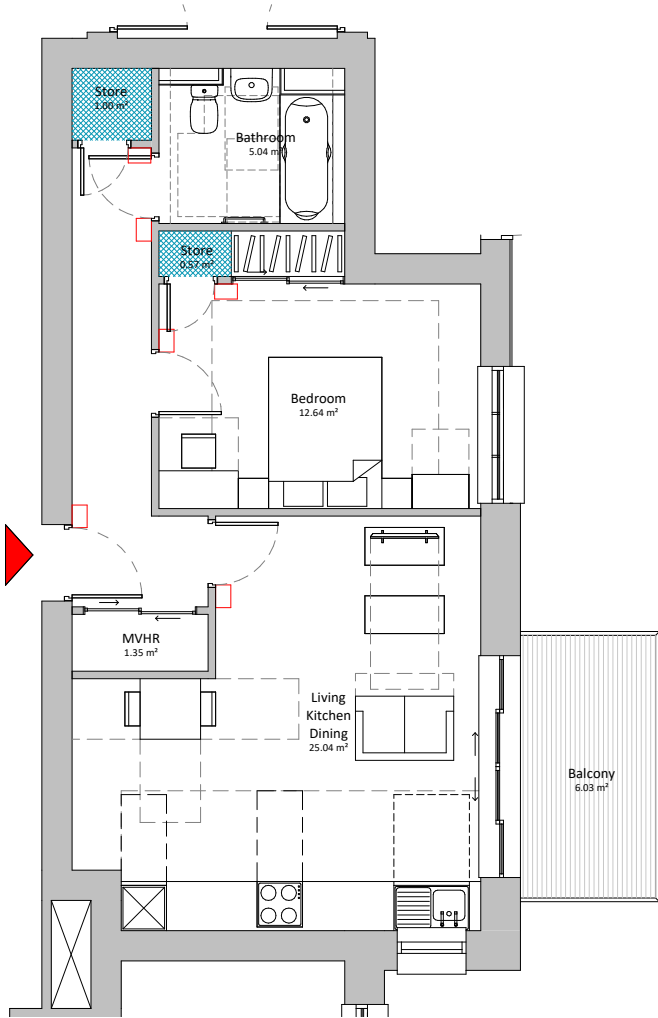


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 002
OCCUPANCY	1B2P W/C
TENURE	Affordable Rent
BLOCK	
AREA	62.3 m²
LEVELS	01
PLOTS (AS SHOWN)	13
PLOTS (HANCED)	



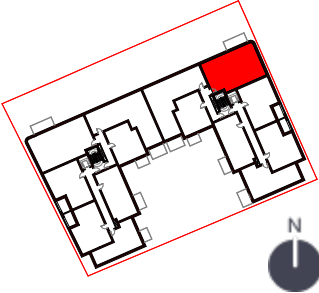
# 7.4 Proposed Flat Types - 03 & 04

Flat Type 03



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 003
OCCUPANCY	1B2P
TENURE	Affordable Rent
BLOCK	
AREA	56.0 m²
LEVELS	01
PLOTS (AS SHOWN)	03
PLOTS (HANDED)	12

Flat Type 04

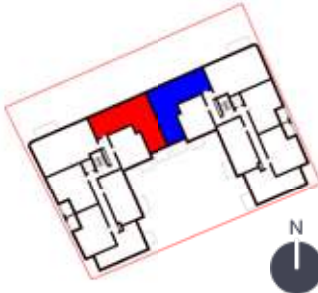
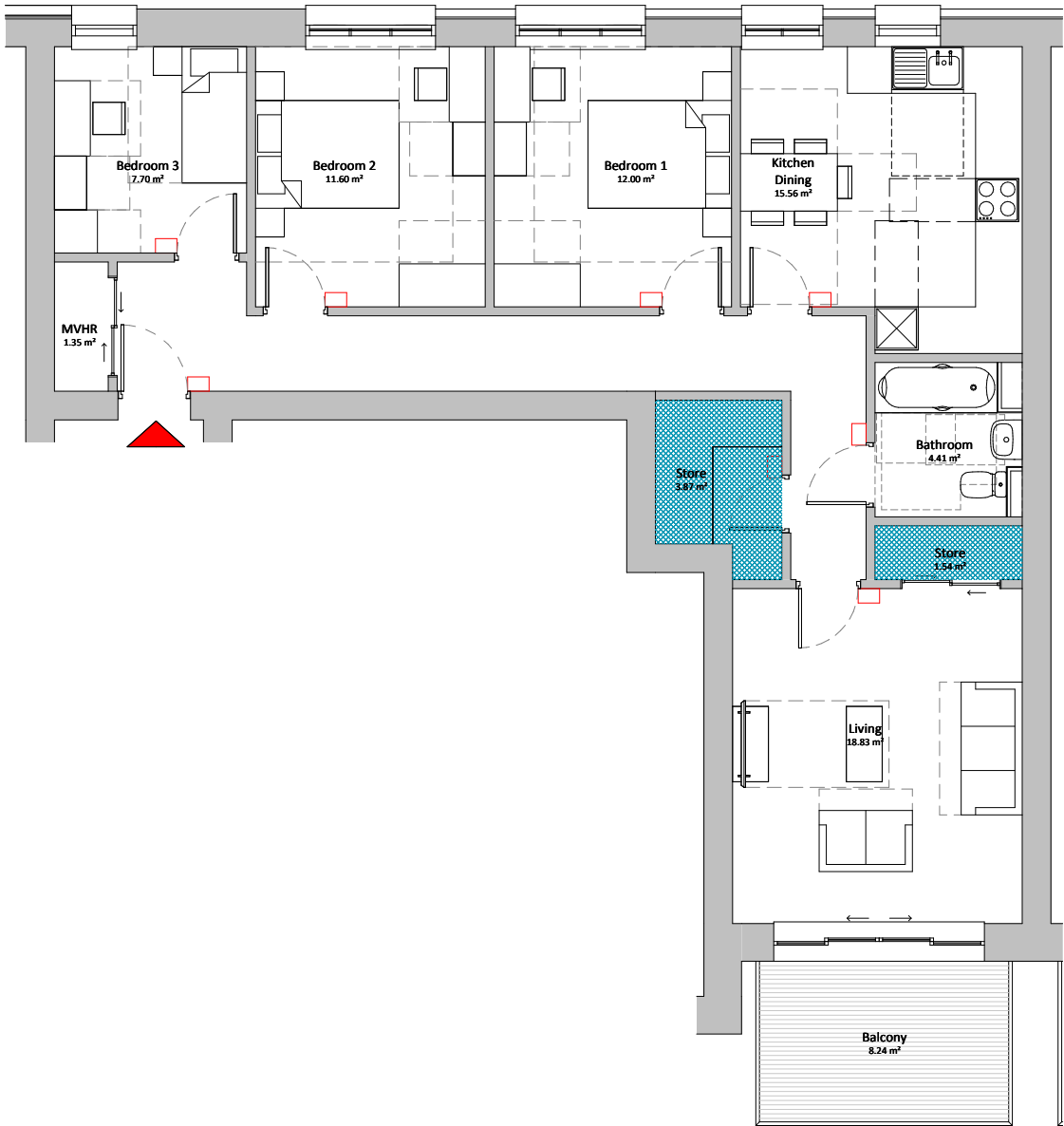


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 004
OCCUPANCY	3B4P W/C
TENURE	Affordable Rent
BLOCK	
AREA	93.8 m²
LEVELS	01
PLOTS (AS SHOWN)	10
PLOTS (HANDED)	



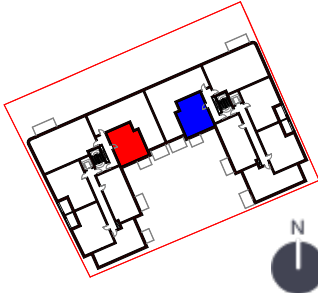
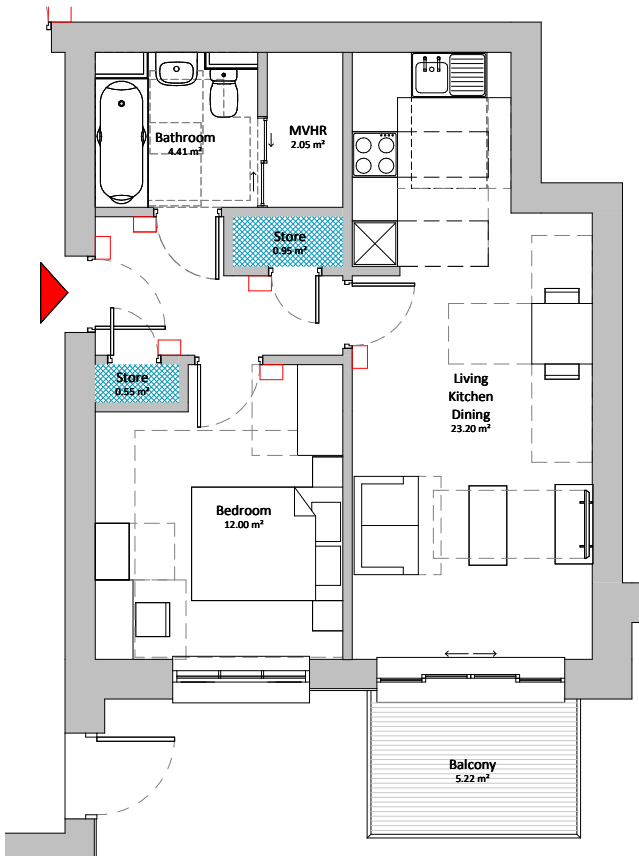
# 7.5 Proposed Flat Types - 05 & 06

Flat Type 05



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 005
OCCUPANCY	3B5P
TENURE	Affordable Rent
BLOCK	
AREA	97.0 m²
LEVELS	01 - 03
PLOTS (AS SHOWN)	07, 21, 35
PLOTS (HANCED)	08, 22, 36

Flat Type 06

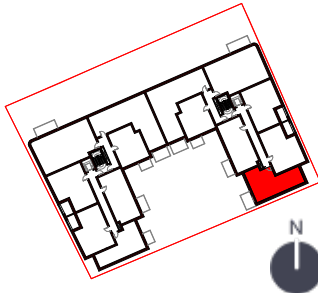
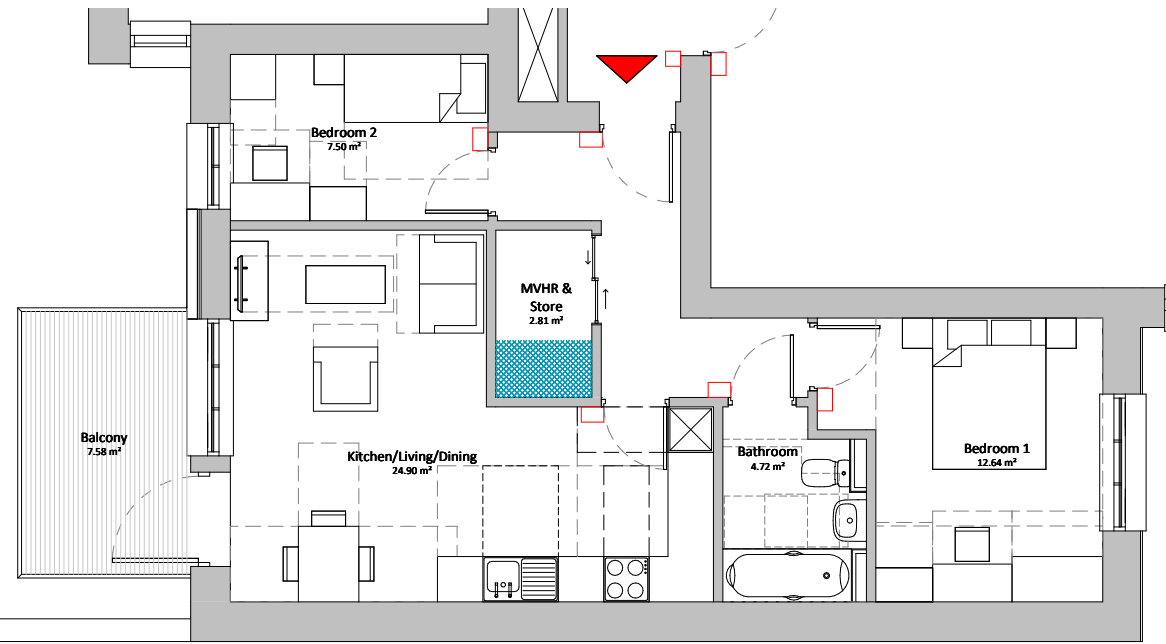


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 006
OCCUPANCY	1B2P
TENURE	Affordable Rent
BLOCK	
AREA	50.5 m²
LEVELS	01 - 03
PLOTS (AS SHOWN)	06, 20, 34
PLOTS (HANCED)	09, 23, 37



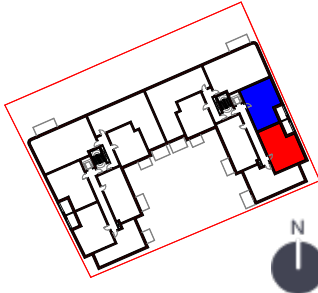
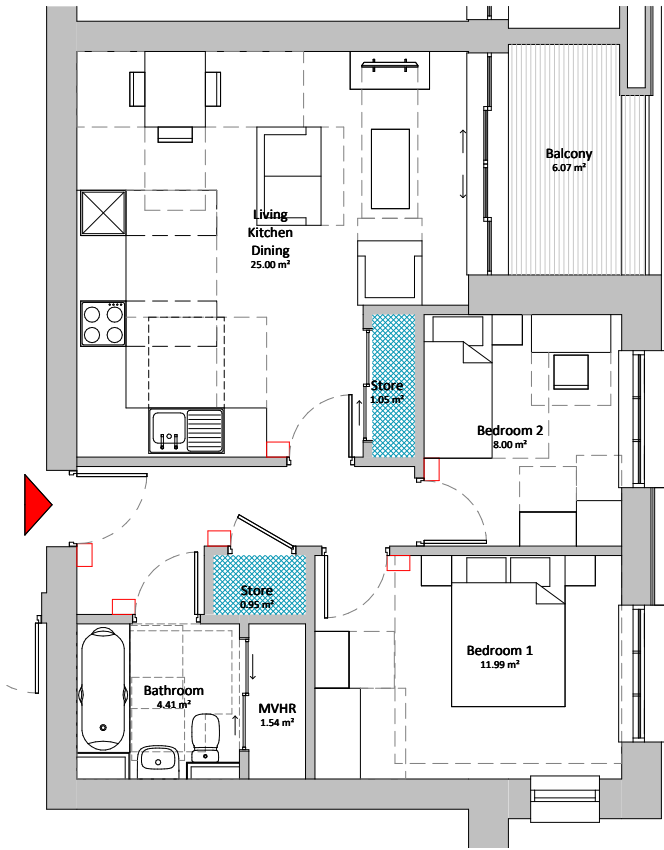
# 7.6 Proposed Flat Types - 07 & 08

Flat Type 07



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 007
OCCUPANCY	2B3P
TENURE	Affordable Rent
BLOCK	
AREA	61.5 m²
LEVELS	01 - 05
PLOTS (AS SHOWN)	14, 28, 42, 52, 62
PLOTS (HANDED)	

Flat Type 08

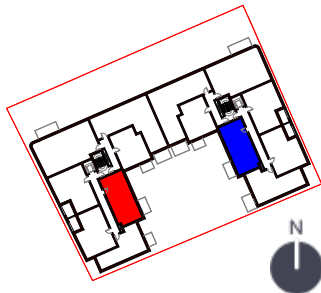
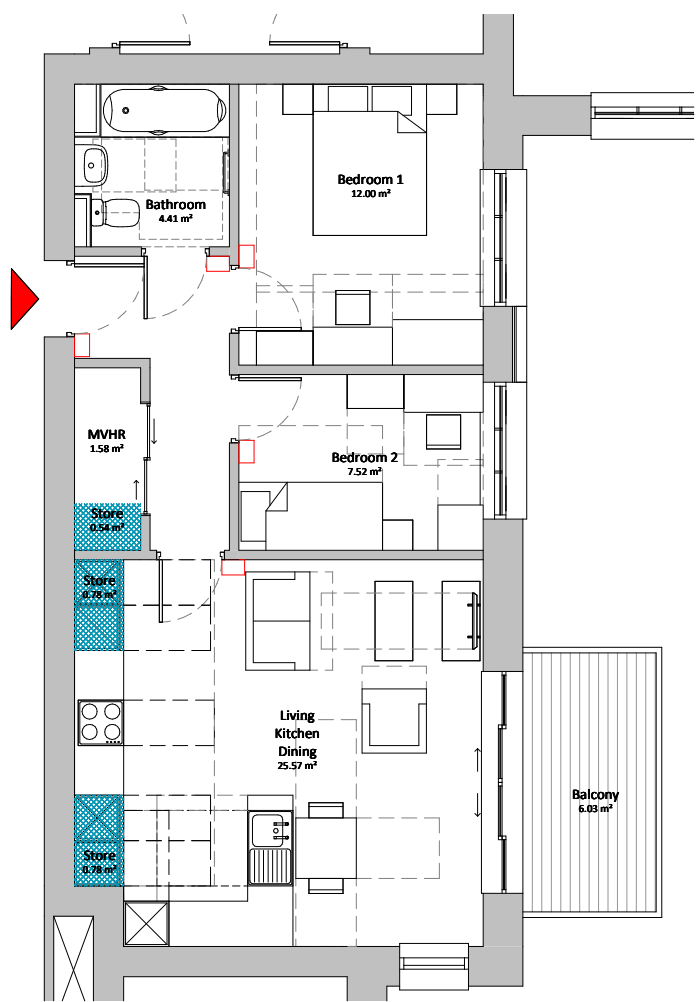


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 008
OCCUPANCY	2B3P
TENURE	Affordable Rent
BLOCK	
AREA	62.3 m²
LEVELS	02 - 05
PLOTS (AS SHOWN)	27, 41, 51
PLOTS (HANDED)	25, 39, 49



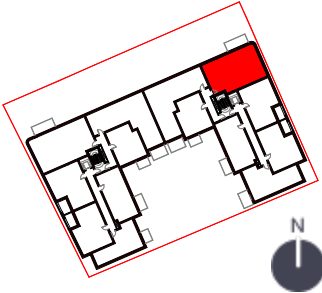
# 7.7 Proposed Flat Types - 09 & 10

Flat Type 09



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 009
OCCUPANCY	2B3P
TENURE	Affordable Rent
BLOCK	
AREA	61.1 m²
LEVELS	02 - 06
PLOTS (AS SHOWN)	17, 31, 45, 55, 65
PLOTS (HANCED)	26, 40, 50, 60

Flat Type 10

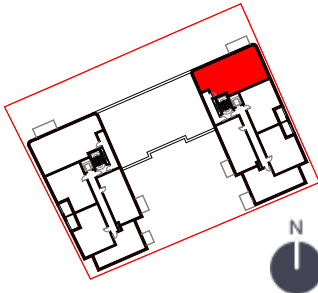
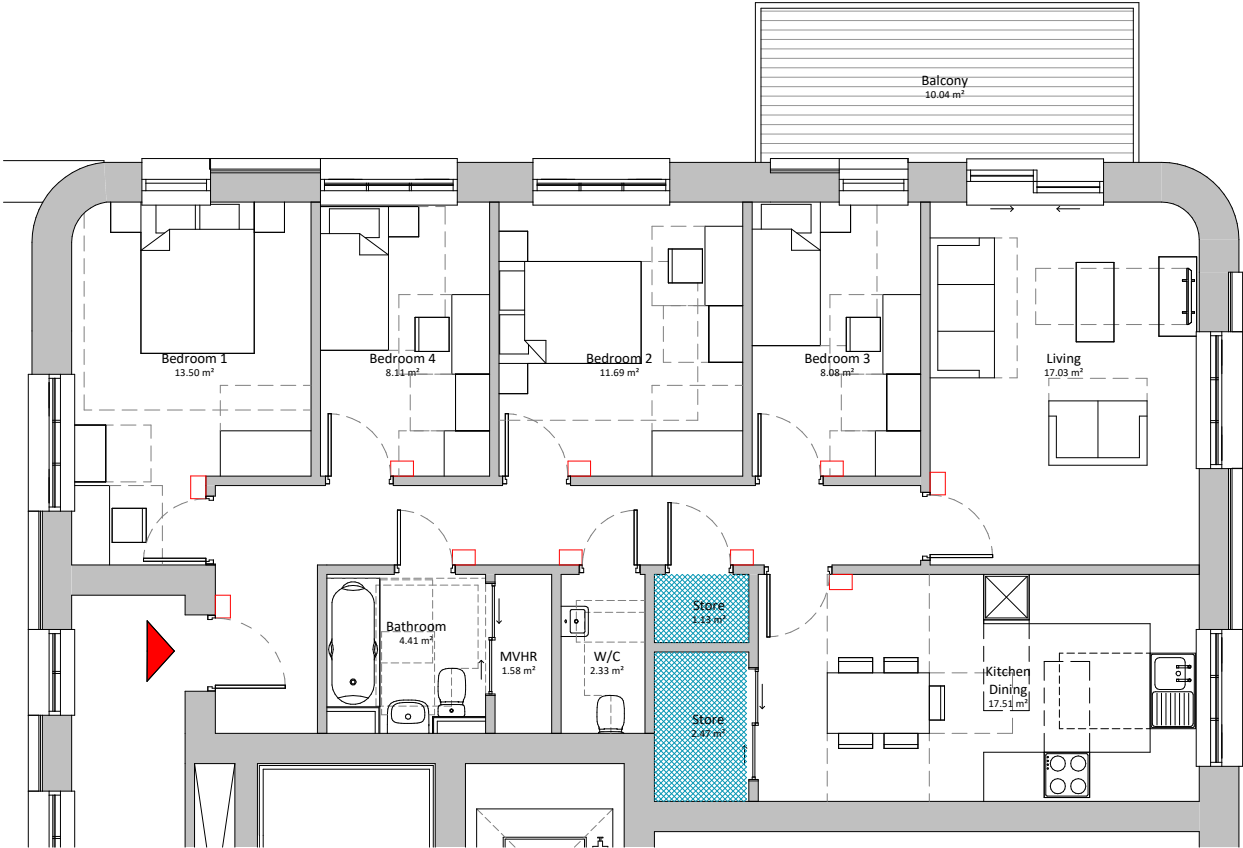


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 010
OCCUPANCY	3B5P
TENURE	Affordable Rent
BLOCK	
AREA	93.8 m²
LEVELS	02 - 03
PLOTS (AS SHOWN)	24, 38
PLOTS (HANCED)	



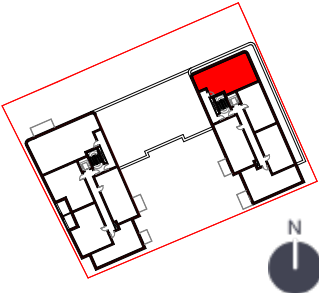
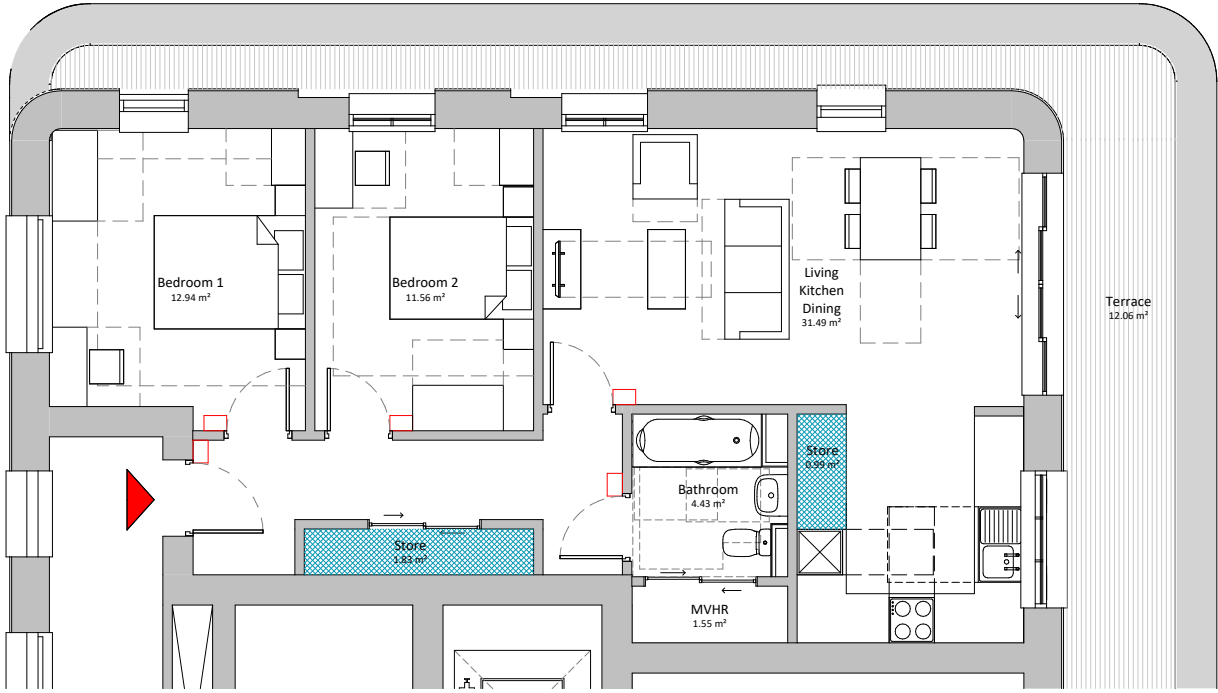
# 7.8 Proposed Flat Types - 11 & 12

Flat Type 11



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 011
OCCUPANCY	4B6P
TENURE	Affordable Rent
BLOCK	
AREA	106.9 m²
LEVELS	04 - 05
PLOTS (AS SHOWN)	48
PLOTS (HANDED)	

Flat Type 12

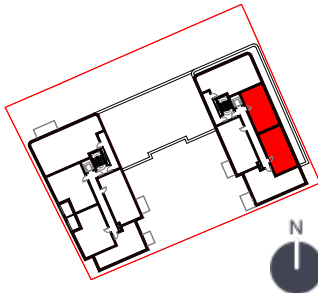
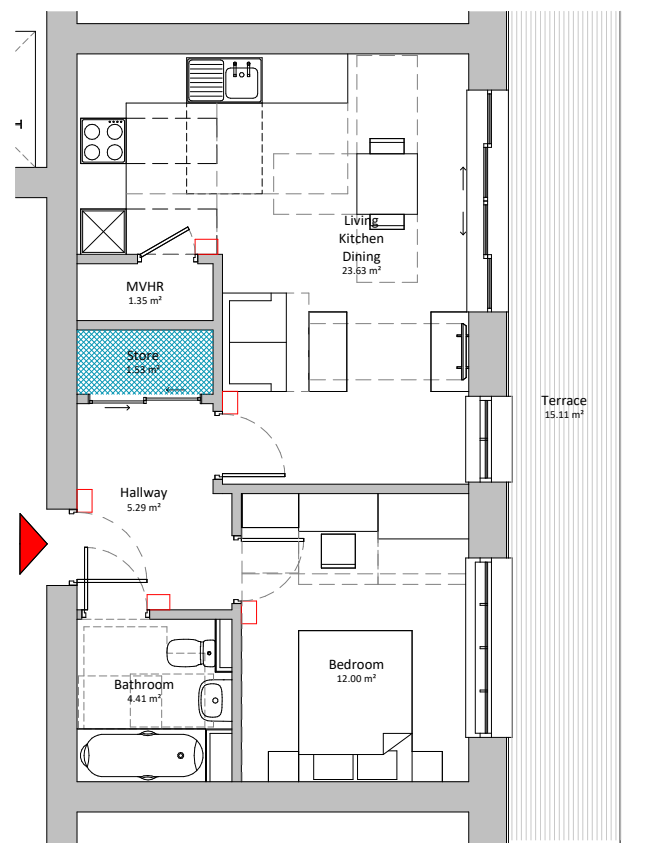


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 012
OCCUPANCY	2B4P
TENURE	Affordable Rent
BLOCK	
AREA	78.7 m²
LEVELS	05 - 06
PLOTS (AS SHOWN)	58
PLOTS (HANDED)	67



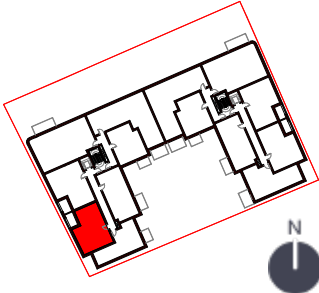
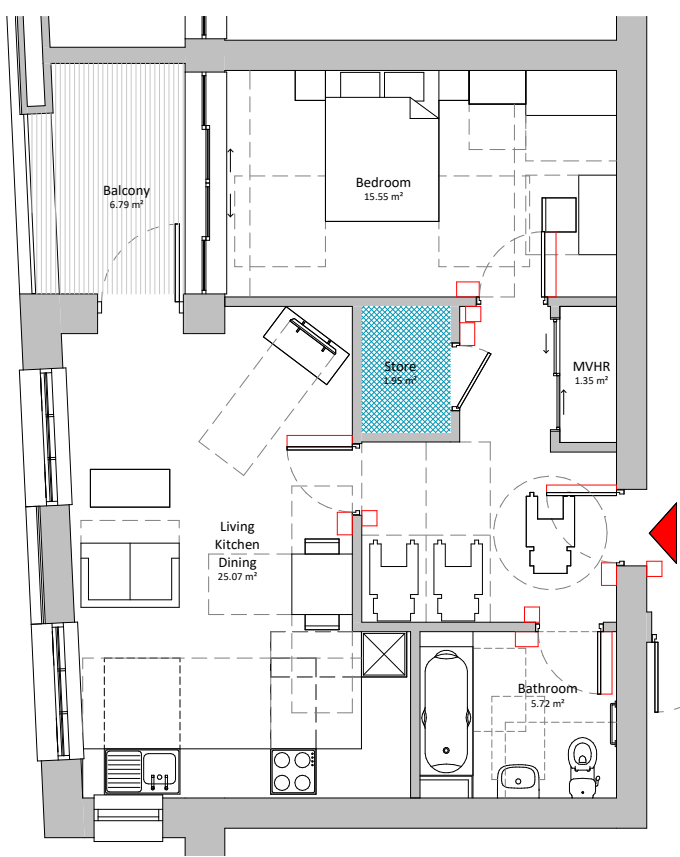
# 7.9 Proposed Flat Types - 13 & 14

Flat Type 13



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 013
OCCUPANCY	1B2P
TENURE	Affordable Rent
BLOCK	
AREA	50.4 m²
LEVELS	05 - 06
PLOTS (AS SHOWN)	59, 61
PLOTS (HANDED)	64, 66

Flat Type 14

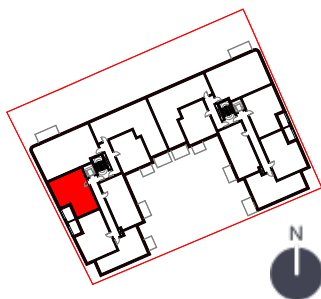
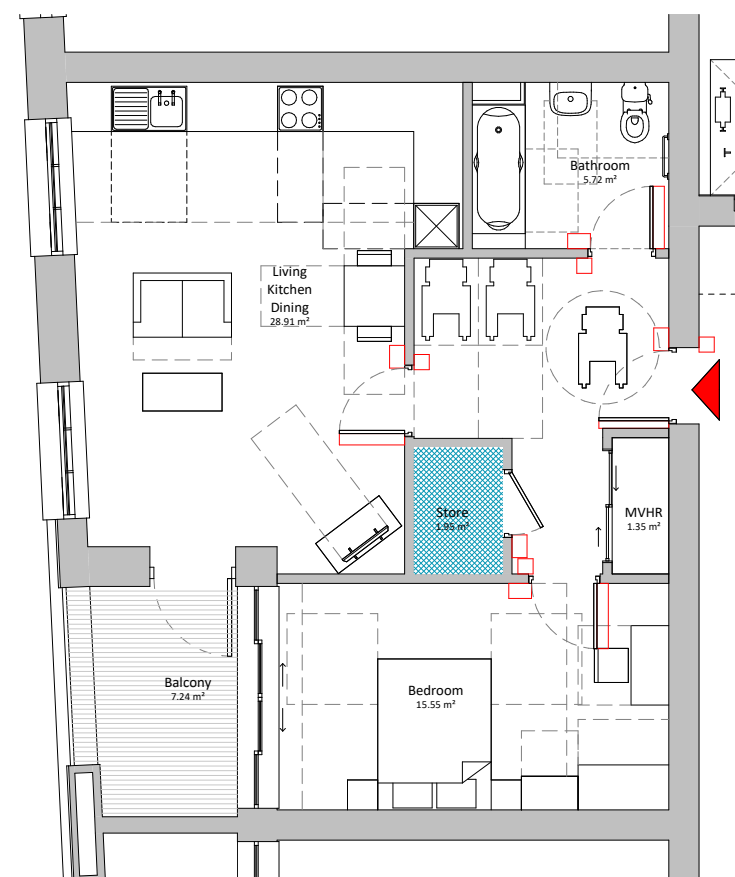


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 014
OCCUPANCY	1B2P W/C
TENURE	Affordable Rent
BLOCK	
AREA	62.3 m²
LEVELS	01
PLOTS (AS SHOWN)	2
PLOTS (HANDED)	



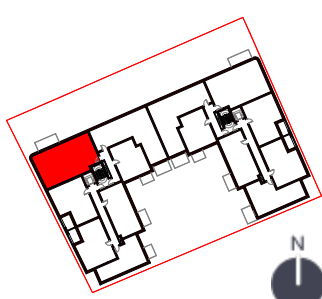
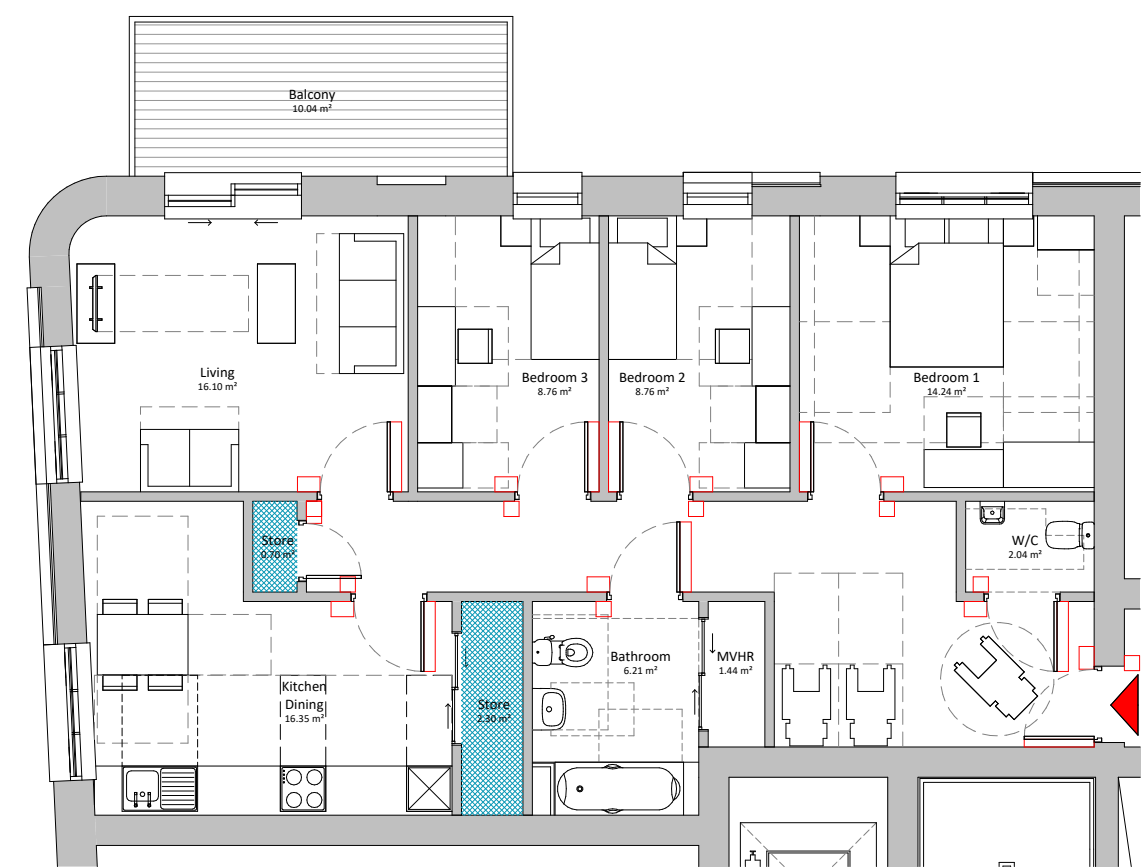
# 7.10 Proposed Flat Types - 15 & 16

Flat Type 15



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 015
OCCUPANCY	1B2P W/C
TENURE	Affordable Rent
BLOCK	
AREA	66.1 m²
LEVELS	01
PLOTS (AS SHOWN)	4
PLOTS (HANDED)	

Flat Type 16

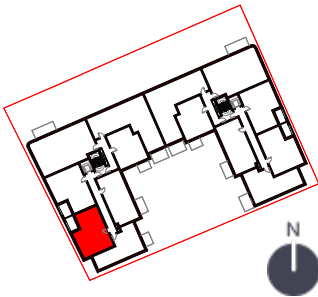
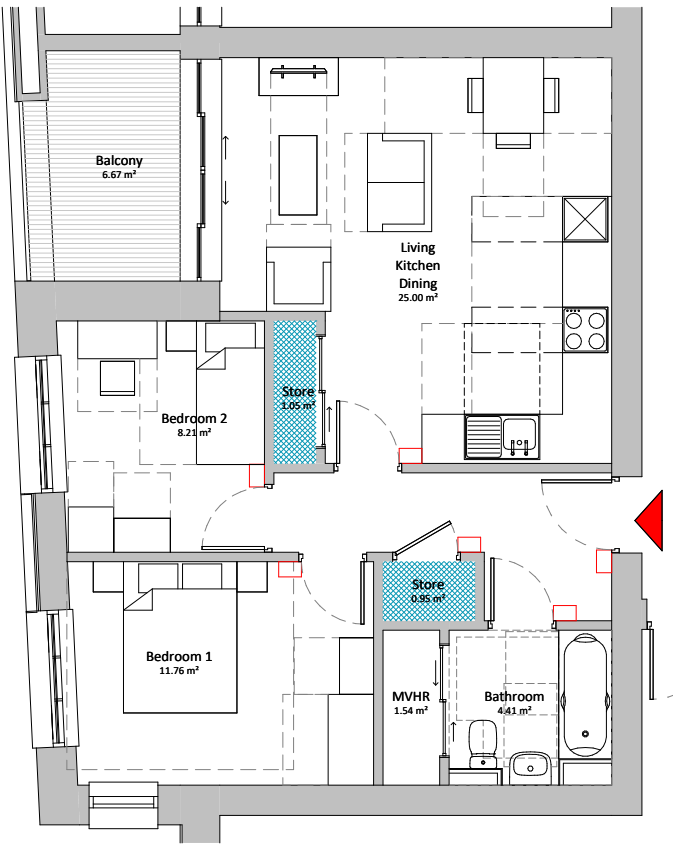


FLAT TYPE INFORMATION:	
FLAT TYPE	FT 016
OCCUPANCY	3B4P W/C
TENURE	Affordable Rent
BLOCK	
AREA	101.4 m²
LEVELS	01
PLOTS (AS SHOWN)	5
PLOTS (HANDED)	



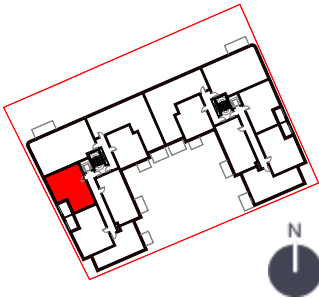
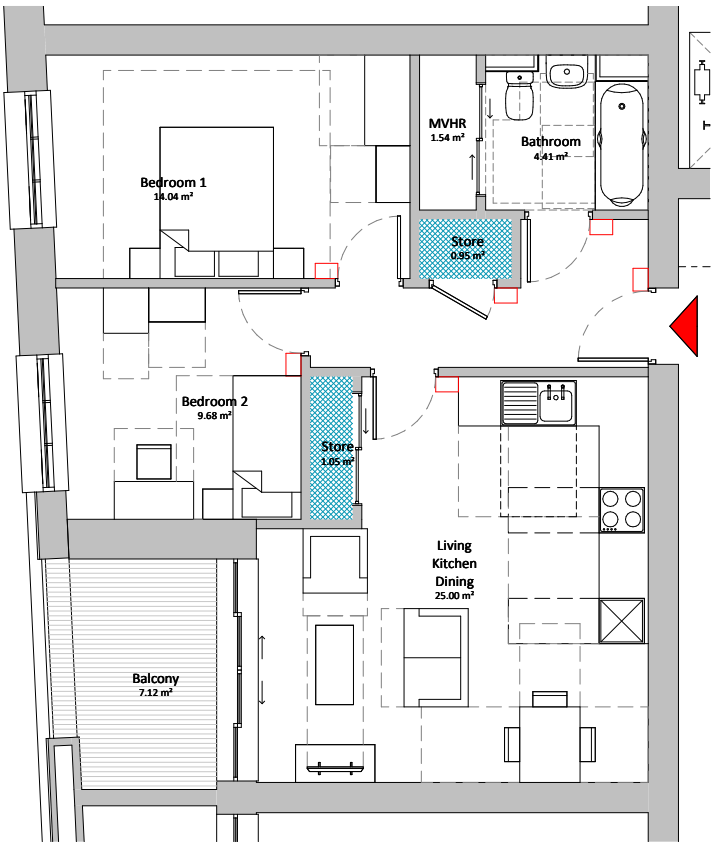
# 7.11 Proposed Flat Types - 17 & 18

Flat Type 17



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 017
OCCUPANCY	2B3P
TENURE	Affordable Rent
BLOCK	
AREA	62.3 m²
LEVELS	01
PLOTS (AS SHOWN)	16, 30, 44, 54
PLOTS (HANDED)	

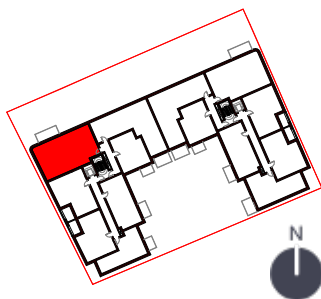
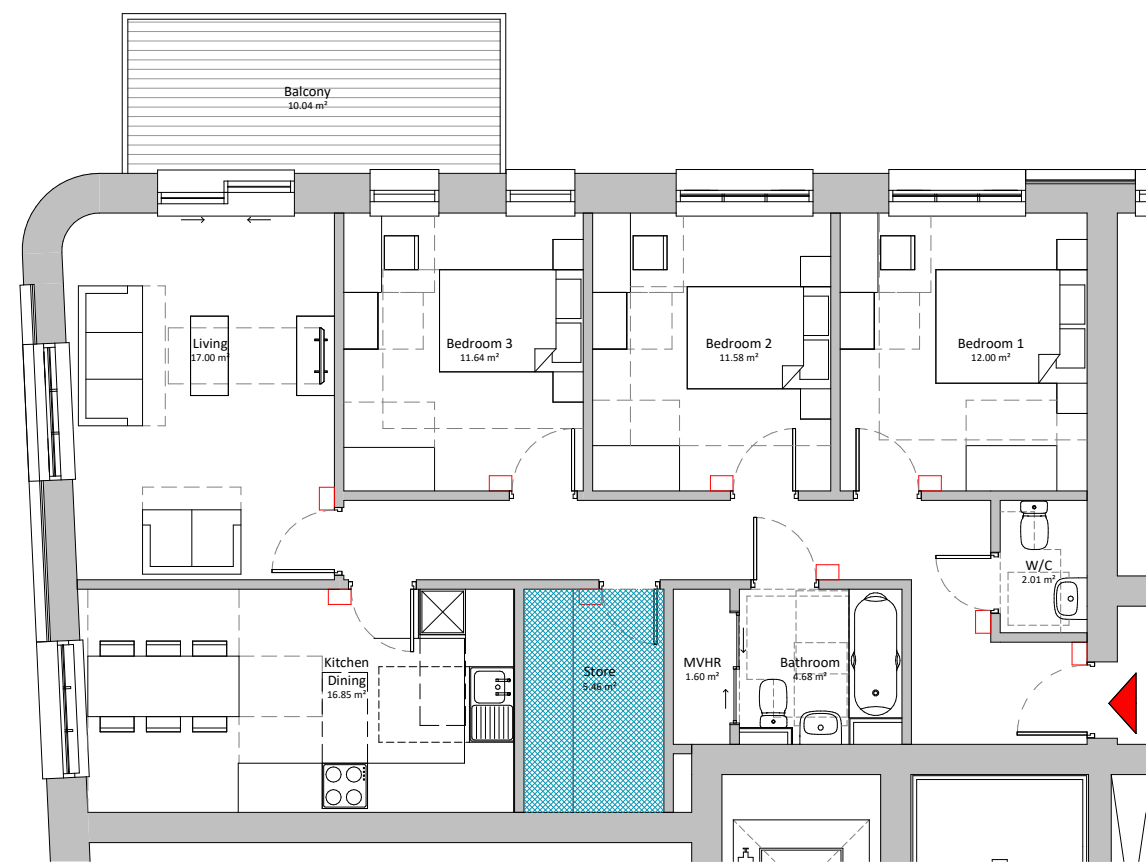
Flat Type 18



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 018
OCCUPANCY	2B3P
TENURE	Affordable Rent
BLOCK	
AREA	66.1 m²
LEVELS	01
PLOTS (AS SHOWN)	18, 32, 46, 56
PLOTS (HANDED)	

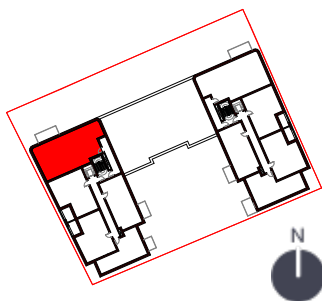
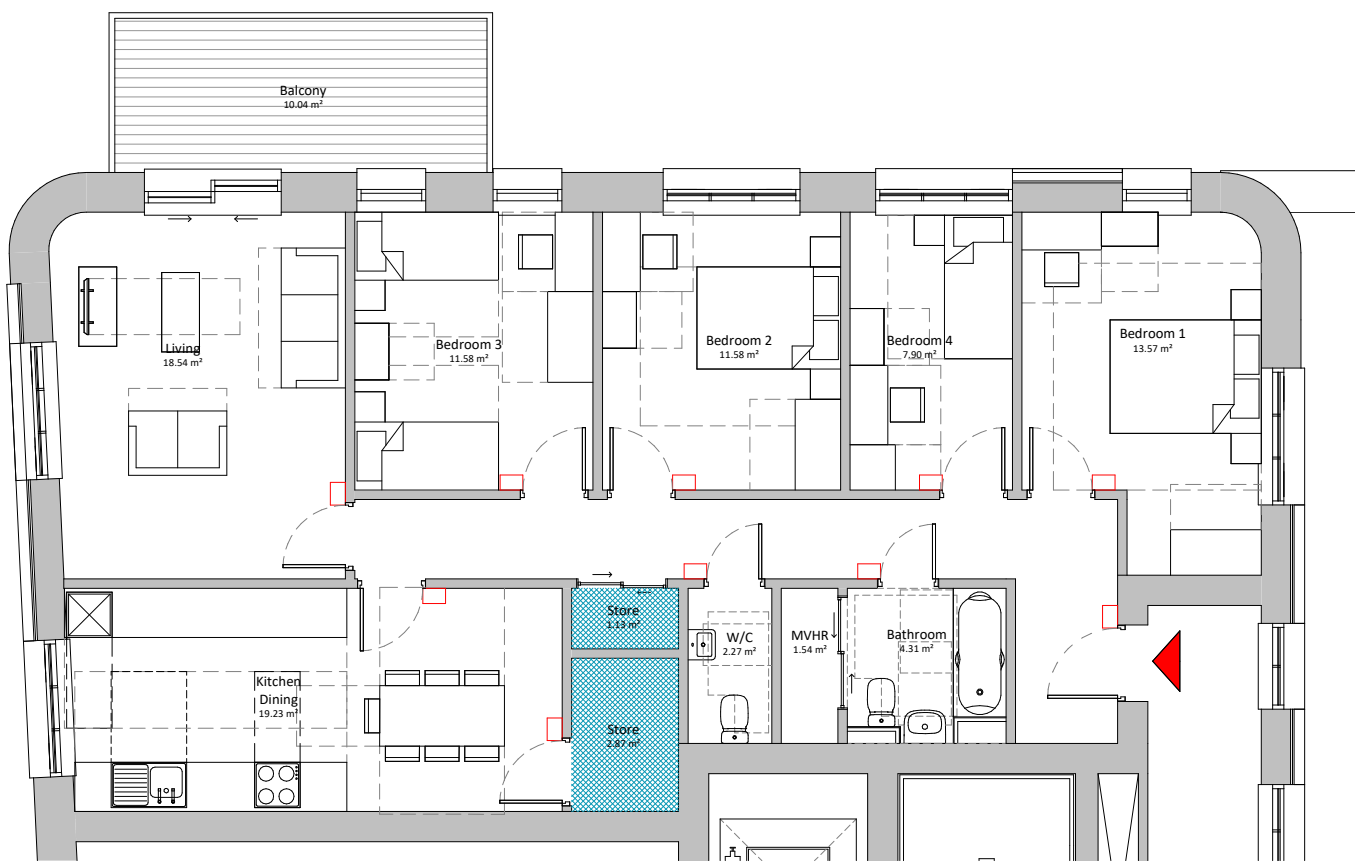
# 7.12 Proposed Flat Types - 19 & 20

Flat Type 19



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 019
OCCUPANCY	3B6P
TENURE	Affordable Rent
BLOCK	
AREA	101.4 m²
LEVELS	01
PLOTS (AS SHOWN)	19, 33
PLOTS (HANCED)	

Flat Type 20



FLAT TYPE INFORMATION:	
FLAT TYPE	FT 020
OCCUPANCY	4B7P
TENURE	Affordable Rent
BLOCK	
AREA	114.6 m²
LEVELS	01
PLOTS (AS SHOWN)	47, 57
PLOTS (HANCED)	



## 8.0 Sustainability

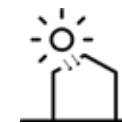
# 8.1 Sustainability Principles



## 1 Overheating (TM:59)

In order to minimise solar gain and overheating different approaches will be implemented in the design process:

- Use of high-performance glazing;
- Maximise natural ventilation;
- Balconies on southern facade assist with solar shading;
- Inset balconies for external shading;
- Raised sill height and reduced glazed areas especially in South/West facades.



## 3 Sun and Daylighting

The fenestration and screening on the facades will take into consideration the orientation of the building and the amount of sunlight.

Inset balconies and screening strategies will be considered on the south facade where the sun's heat is more intense especially in summer months.

Full-height windows and bigger openings will be implemented in the North facade to optimise the use of natural light.



## 5 Bio-diversity

Providing variety of plants and vegetation within the site helping to preserve the local ecosystem and creating a pleasant environment for residents.



## 2 Photovoltaics

Photovoltaics produce clean energy with low maintenance costs and reducing electricity bills.



## 4 Air source heat pump

Providing heat through heat pumps has many advantages in terms of sustainability. They are more efficient and cheaper than systems based on combustion, heat pumps are a more environmentally friendly investment, reducing carbon emissions and requiring less maintenance and being exceptionally reliable and steady source of heat.



# 9.0 Landscape

# 9.1 Landscape Strategy

The concept for the landscape for this proposal aims to draw on the main points set out in the Charlton Riverside Masterplan Supplementary Planning Document.

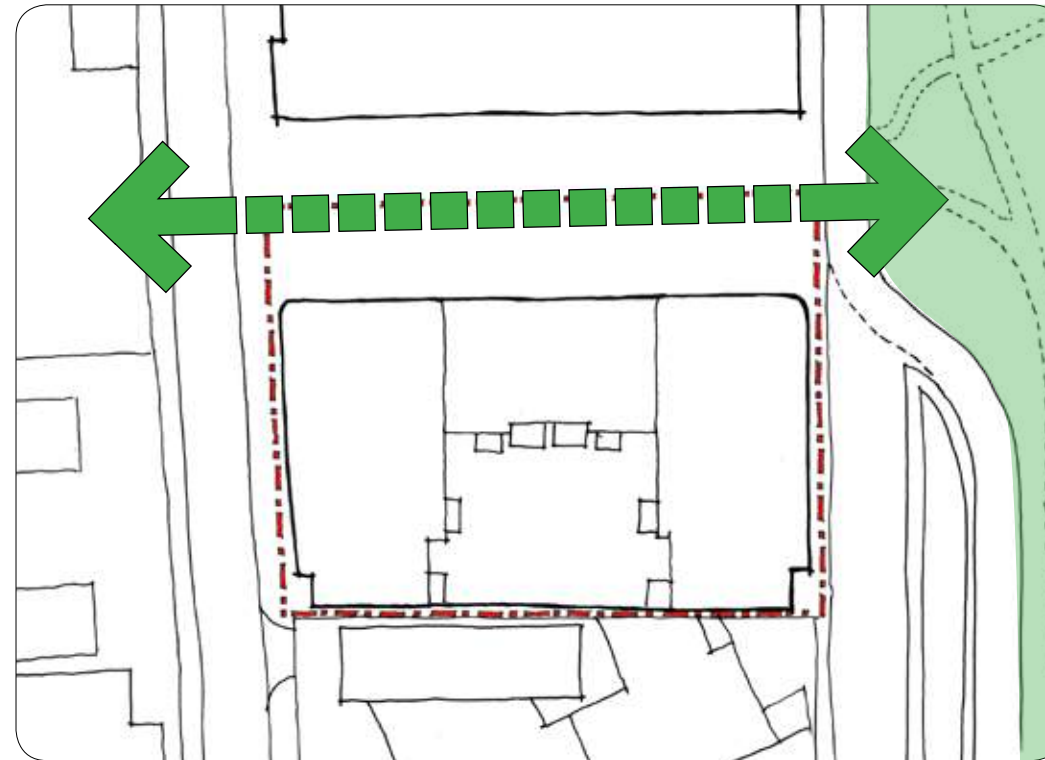
Positioned between Eastmoor Street and Westmoor Street Evelyn house sits on a 'secondary, strategic green route' with an emphasis on a pedestrian route through open space providing a link for the community to the existing local park, which itself provides a green link to the Thames in the north, and a park to the south of Woolwich Road.

While the proportion of the link space that sits within the application will be dedicated to meeting the aspiration of the SPD, practical aspects such as access and servicing will need to be achieved sympathetically.

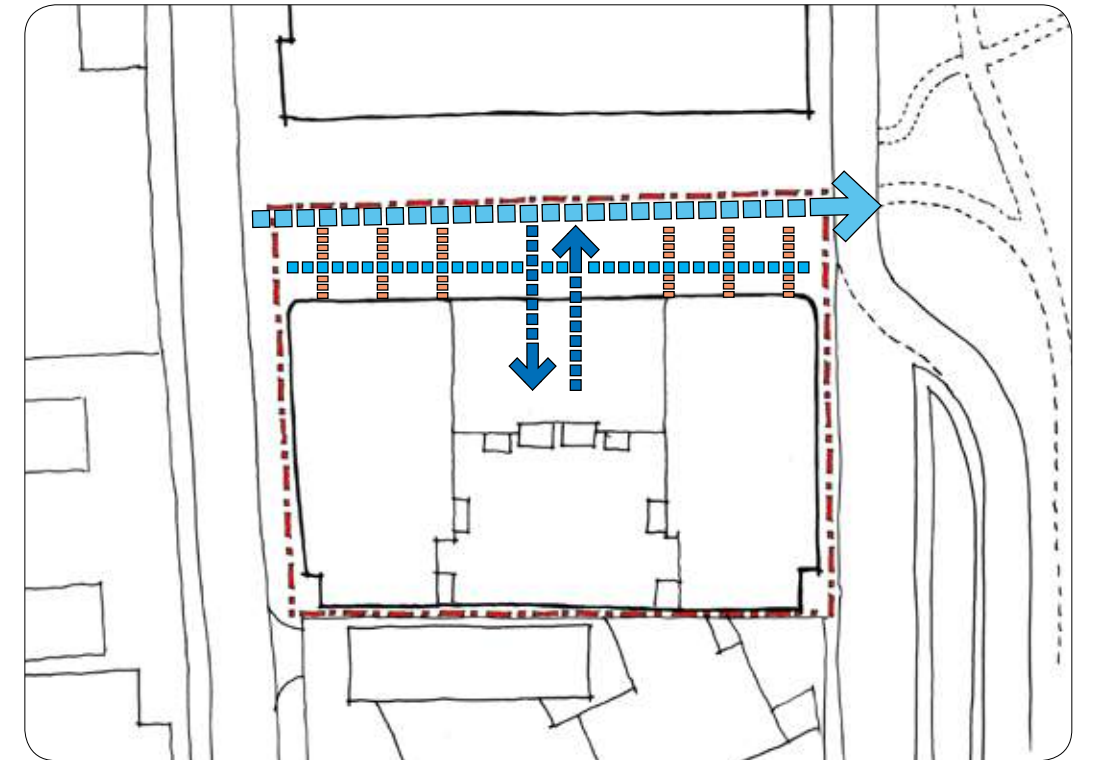
Within the site itself a podium garden will provide need to provide the essential amenity space for residents, providing a safe secure space for children to play, while maintaining privacy for the surrounding residents.

In summary the concept for the aims to:

- > 1. Provide a link for residents to access the wider landscape network;
- > 2a. Provide a safe environment for pedestrians and cyclists;
- > 2b. Provide practical access for servicing;
- > 3. Increase the biodiversity and habitat opportunity's of the existing site;
- > 4. Provide amenity space for residents of all ages and abilities.



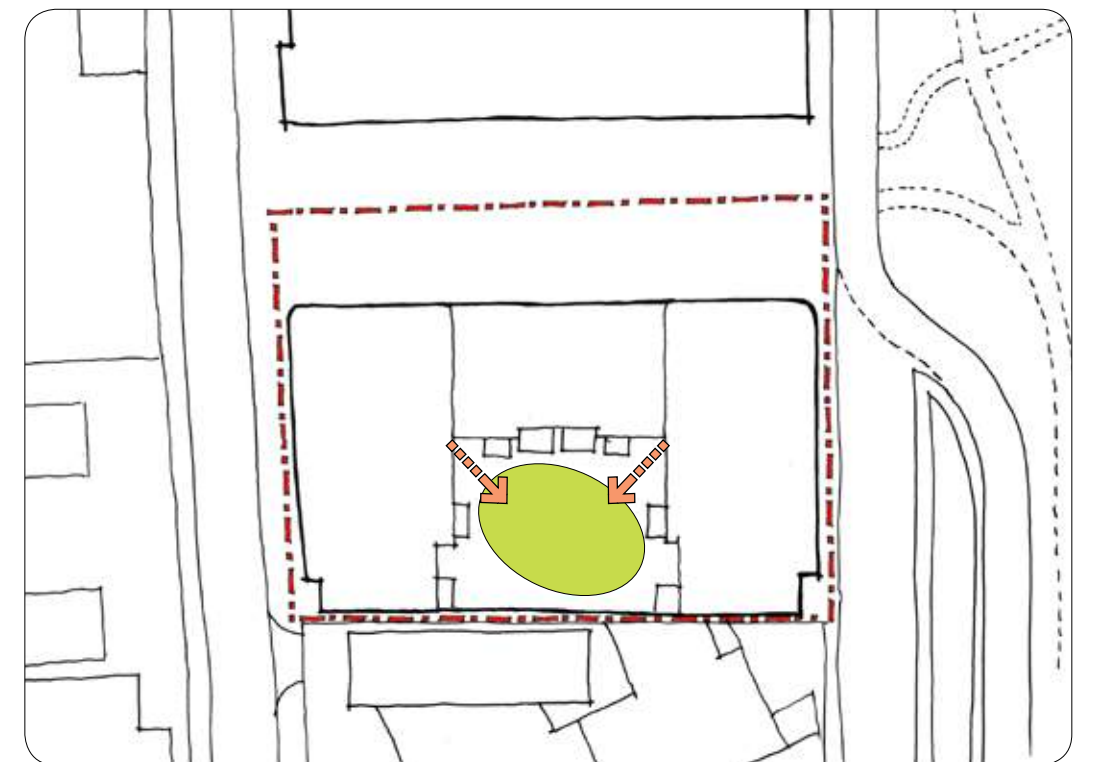
1



2



3



4



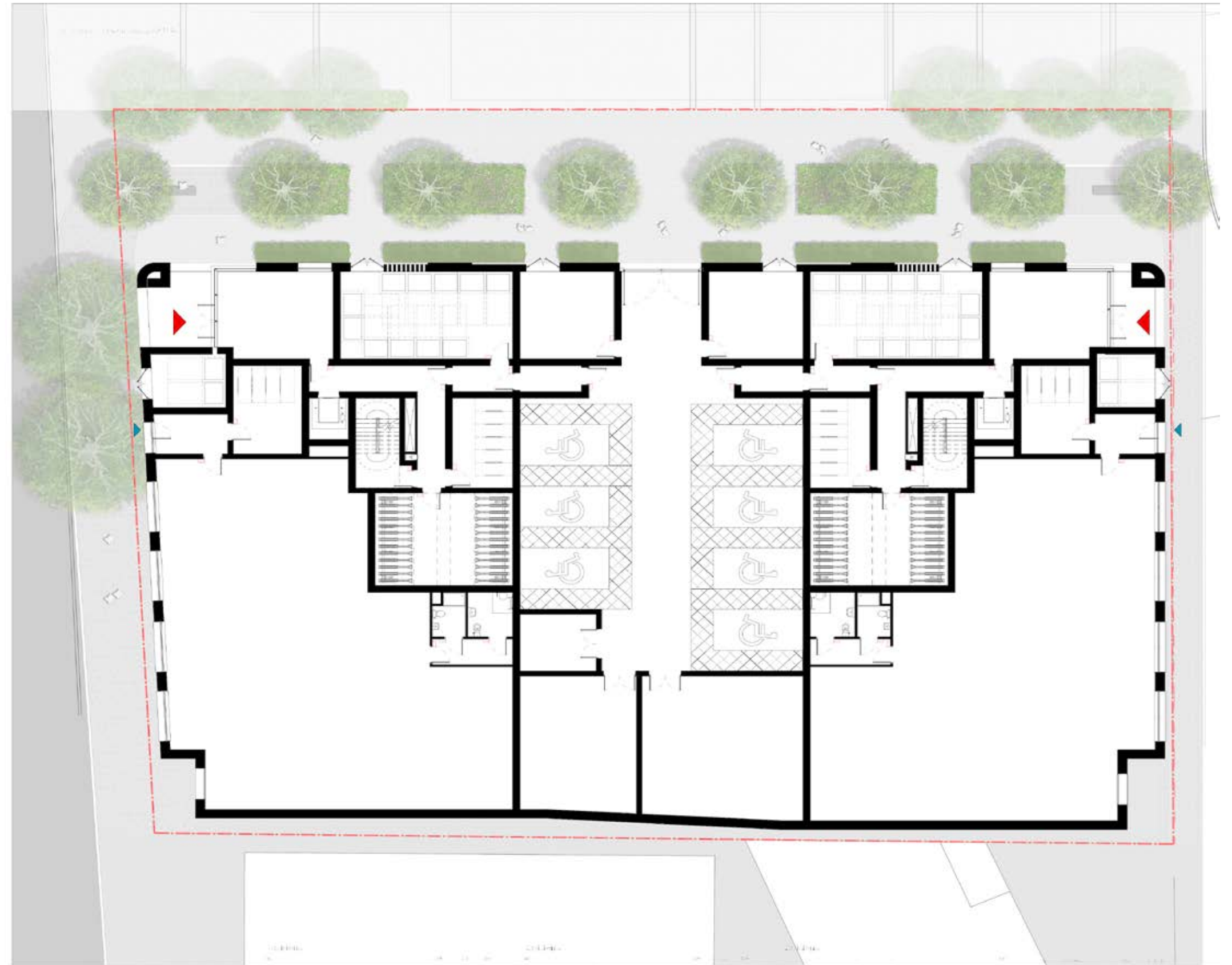
## 9.2 Landscape Ground Floor Plan

The landscape proposal for the ground floor builds on the aspirations of the masterplan for this area by providing a welcoming space that allows the wider community to transfer safely from green space to green space.

The design aims to maximise the planting opportunities with buffer planting being used to soften the edge of the development. There is the potential for sustainable drainage that is both meaningful and visible, being used to drain the hard surfacing and providing a larger planting space for trees to thrive.

Clear access to main entrances has been created, with simple robust furniture at each end of the space offering a space for people to sit and wait for friends, or just to watch the world go by.

While the boundary line between this proposal and the application to the north divides the space, the intention will be for the space to appear as single space with a shared surface, while still allowing both sites to function independently. This should be achieved through a coordinated approach to the materiality and selection of plant species.





## 9.3 Landscape Podium

The Podium Garden will primarily function as the play and amenity space for the residents, providing the 280m<sup>2</sup> play space as calculated by the current GLA play space requirements.

The design of the podium takes into account the privacy of the residents at this level by dividing each private terrace with higher hedge planting, while lower planting allows residents a glimpse out onto the wider area.

As the whole space is contained (and therefore safe for children), we have adopted the approach that it should be playful and stimulating for children, as well as adults of all abilities throughout the year. A simple pergola offers shade as well as a degree of privacy from the surrounding residents. An area of synthetic lawn provides soft flexible space for children to run & roll around on, and can be used throughout the year.

Large containerised trees will be carefully selected to provide additional natural shade and seasonal interest. These could potentially be moveable to allow a degree of customisation of the space.

An area of rubber crumb is also proposed, with simple sculptural play equipment, designed to entertain and test younger toddlers. This will overlap the lawn area, which can also include simple play equipment.

Ventilation for the car park below will also be accommodated here, and concealed within sculptural furniture and/or the southern wall.





## 9.4 Landscape Visualisation



Hedge planting (550mm deep planter)



Low herbaceous (400mm deep planter)



Free standing planters for trees (1200mm dia pot. moveable)



Slab Paving



Synthetic Lawn



Rubber Crumb play surfacing



Synthetic Deck to private terrace's



Timber Pergola with picnic table / bench



Playful seating element incorporating ventilation below



Simple play equipment



Play boulders



Cube Seating (moveable)





# 9.5 Play Strategy

The Podium Garden will primarily function as the play and amenity space for the residents, providing the 280m2 play space as calculated by the current GLA play space requirements. The proposed play area within the podium garden will primarily serves the youngest children up to 5 years of age.

An area of rubber crumb is also proposed, with simple sculptural play equipment, designed to entertain and test younger toddlers. This will overlap the lawn area, which will also include simple play equipment.

The close vicinity to Moore Park, Maryon Park and Maryon Wilson Animal Park allow older children to play in established parks.

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	0	0	0	0
Social Units	22	30	12	3

Total Units	67
-------------	----

Geographic Aggregation	Inner London
------------------------	--------------

PTAL	PTAL 3-4
------	----------

Notes

- Sample size of 22 sites
- Shaded cells require user input
- Select both geography and PTAL
- For developments in Outer London with PTAL 5-6 use [London/PTAL 5-6] or [Outer London/3-4] to calculate yield

Yield from Development (persons)

	Market &	Social	Total
Ages 0, 1, 2, 3 & 4	0.0	27.9	27.9
Ages 5, 6, 7, 8, 9, 10 & 11	0.0	21.9	21.9
Ages 12, 13, 14 & 15	0.0	10.6	10.6
Ages 16 & 17	0.0	5.6	5.6
18-64	0.0	110.8	110.8
65+	0.0	2.6	2.6
Total Yield	0.0	179.4	179.4

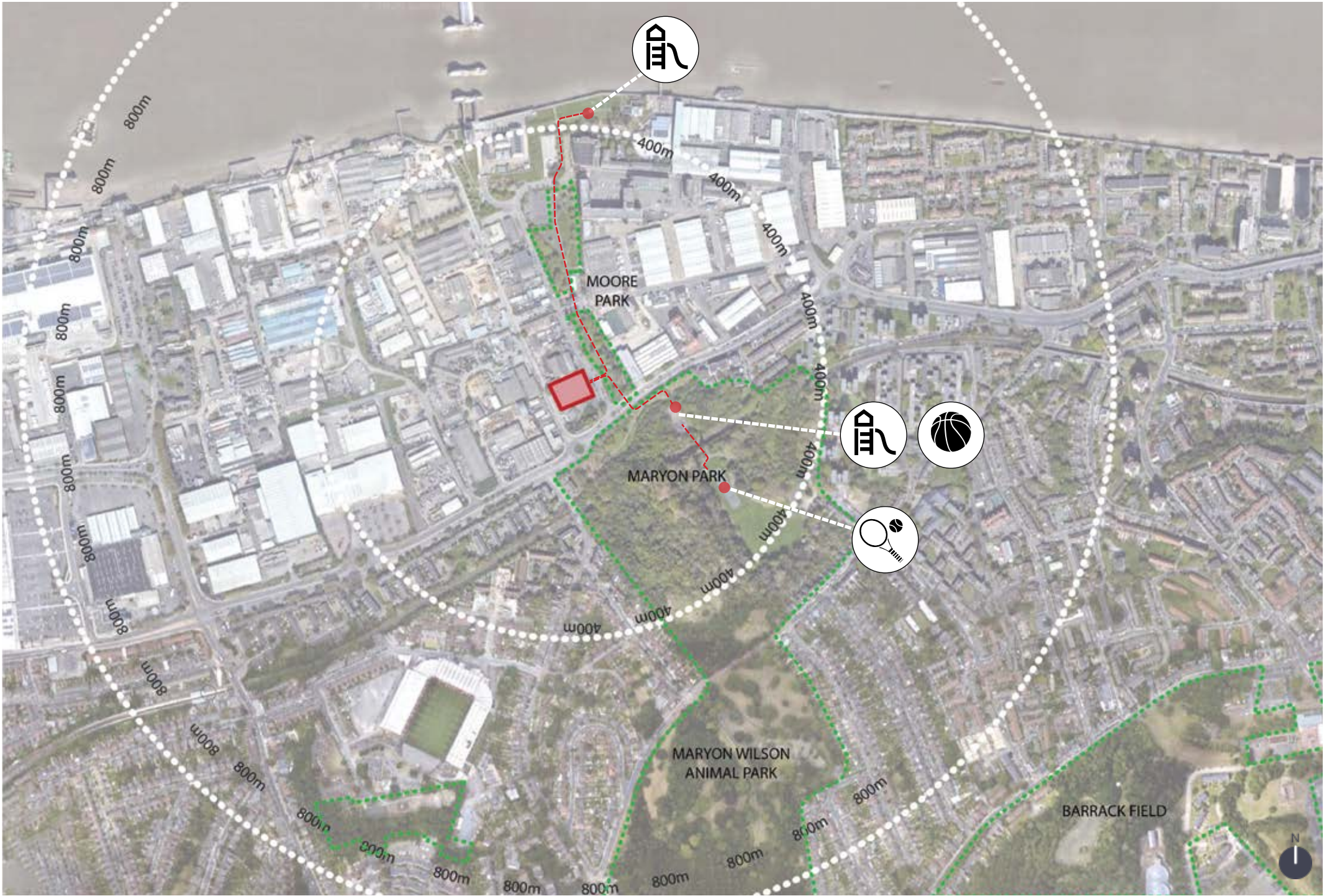
Play Space Calculator

Total Children	66.1	
	Benchmark (m <sup>2</sup> )	Total play space (m <sup>2</sup> )
Play space requirement	10	660.7





# 9.6 Play Strategy



Moore Park/ Barrier Park  
Within 400m the park provides play area for children 5-11 year old



Maryon Park  
Within 400m the park provides play area for children 5-11 year old

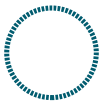


Maryon Wilson Animal Park  
Within 400m the park provides additional 12.5ha of open park space and animal park.



# 9.7 Landscape Planting Strategy

The planting on the podium will highlight playful character of the space. We propose to use species with intense colours and soft textures that best respond to the local micro-climate to best ensure that they thrive. Using plants that have strong sensory attributes will be an important design element, as the podium will predominantly be used by toddlers for play. We propose to use species that will support pollinators, encouraging foraging and promote habitats.



AVENUE TREES



PODIUM TREES



SWALE PLANTING



LOWER PLANTING



BUFFER PLANTING



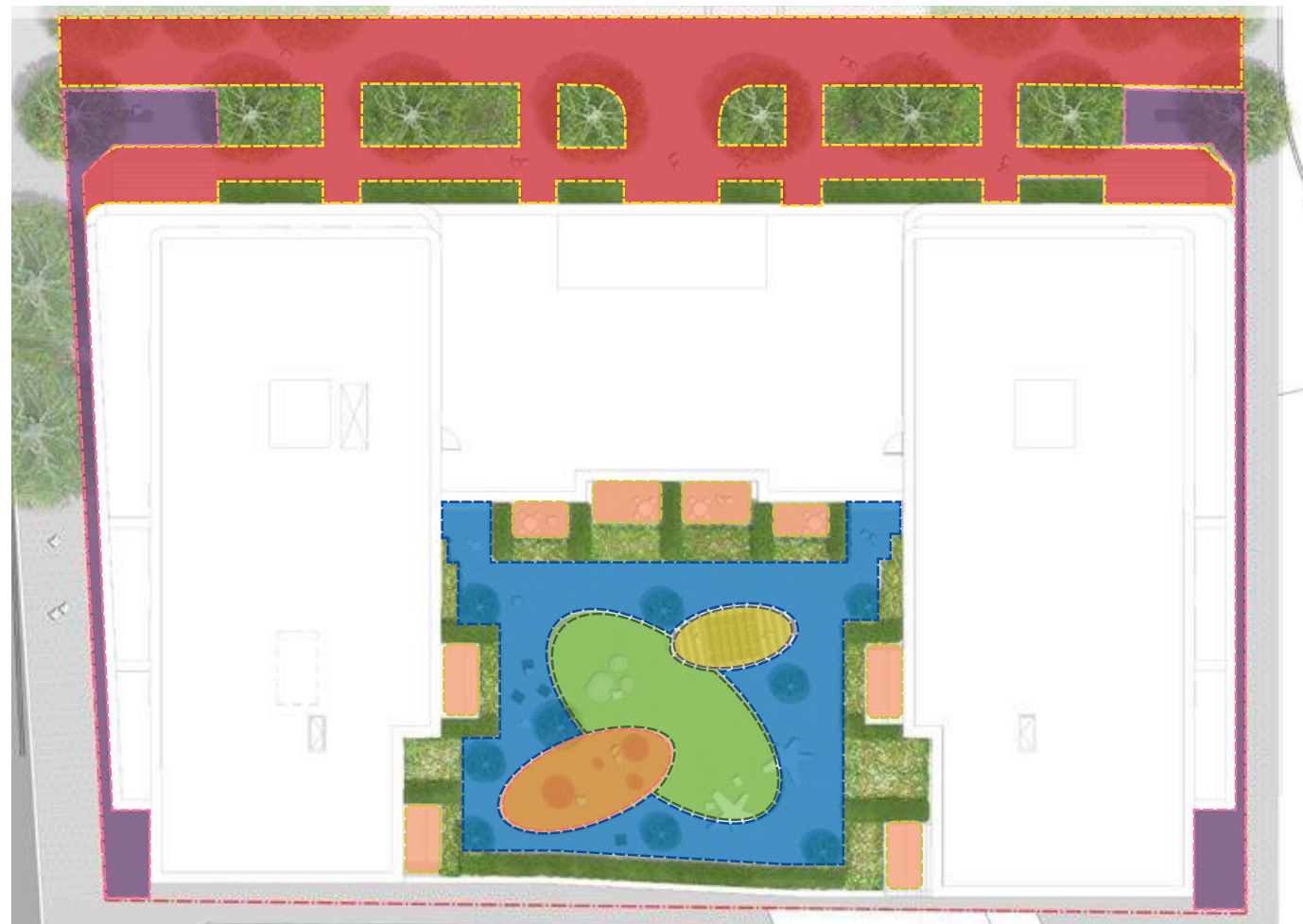


## 9.8 Landscape Materials Strategy

The hard landscaping scheme has been designed to be high quality robust and hard wearing. Materials will be used in such a way to help reinforce the proposed design concepts of the scheme. This includes industrial pattern etchings to concrete and sculptural play features and surfaces.

Wherever possible materials used on site will have a recycled content. The majority of the block paving specified will have a recycled content of at least 50%. When laid on a recycled sub base then the BREEAM rating increases to a A/A\*.

Not only do the materials specified improve sustainability, but by creating spaces for social interaction and allowing the existing and new residents to be involved with the up-keep of the landscape, we help to create a sustainable community.



SMALL PAVING UNITS  
(PEDESTRIAN AND VEHICULAR)



RUBBER CRUMB PLAY SURFACE



TREE PLANTERS



MATCH HIGHWAYS  
PAVING



SYNTHETIC LAWN



PERGOLA



RAIN-GARDEN EDGE



PAVING PLANKS UNDER  
PERGOLA



TIMBER BENCH



PODIUM PAVING



EDGE PLANTERS



VENTILATION CONCEALED INTO  
LANDSCAPE



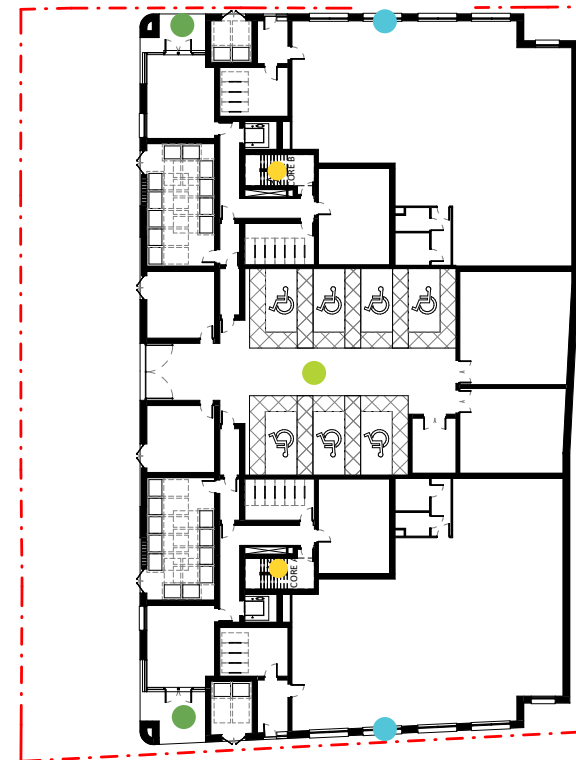
# 10.0 Access



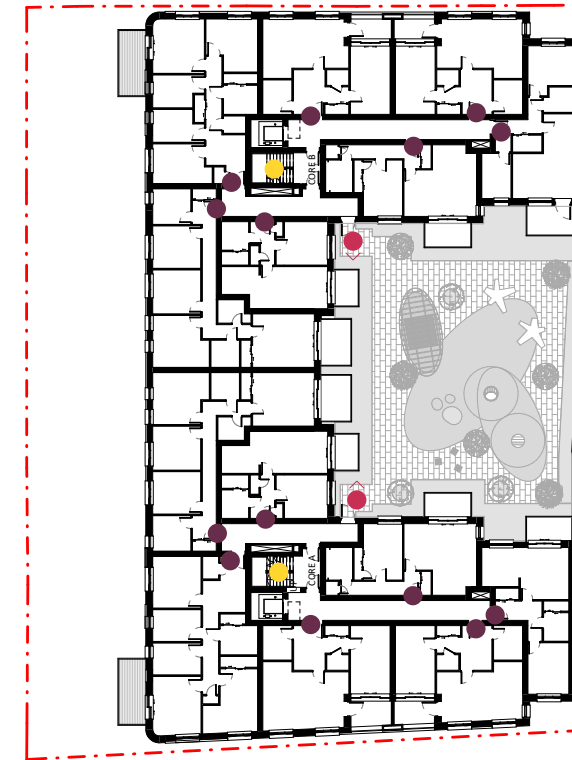
# 10.1 Entrance Strategy

There are two communal residential entrances. The first providing access to Core A is situated on the north-west corner, along Westmoor Street. The second provides access to Core B and is situated to the north-east corner, along Eastmoor Street. Both benefit from large openings, high ceilings and protected entrances.

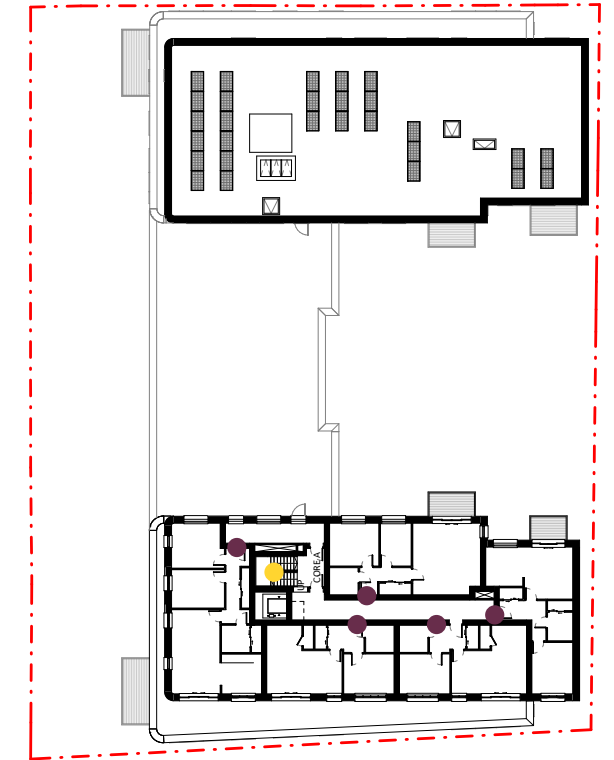
Commercial entrances are also found along both Westmoor Street and Eastmoor Street.



Ground Floor



First Floor



Sixth Floor



## Key

- Communal residential entrance
- Car Park
- Flat Entrance
- Core
- Access to Communal Podiums
- Commercial Entrances



Entrance Visual



# 10.2 Amenity Strategy

The amenity spaces across the proposal can be split into three different categories as such; individual balconies, individual terraces and, communal podium.

## Balconies

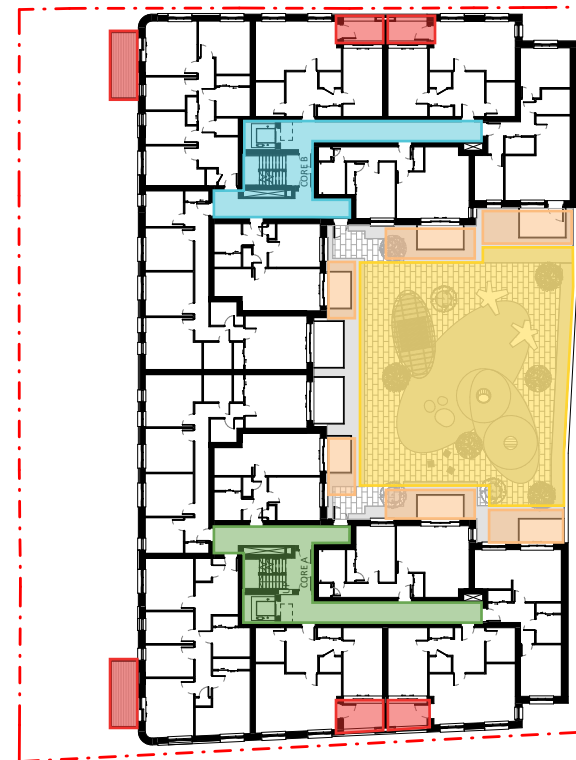
Balconies have been provided as the minimum individual amenity for all dwellings. There is a mix of inset and protruding balconies to provide greater architectural character to the design. All balconies conform with the minimum requirements of the London Housing Design Guide.

## Individual Terraces

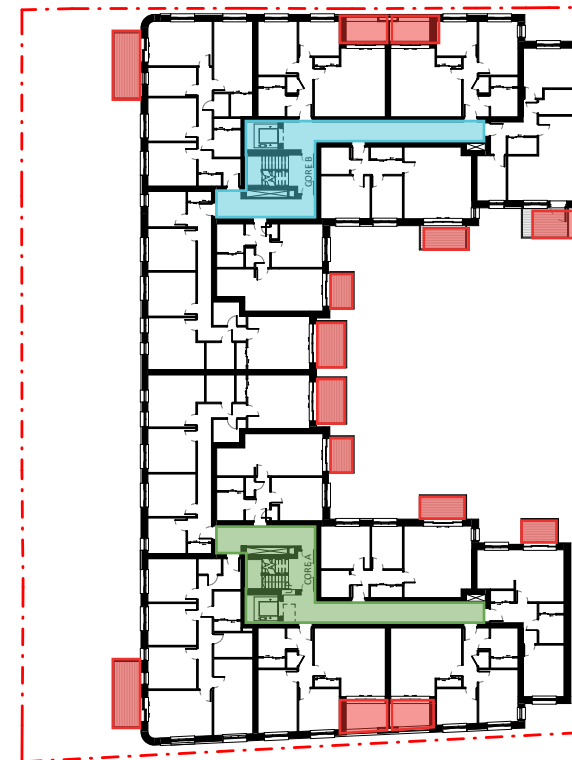
For properties backing onto the podium or at roof levels, individual gardens and terraces have been provided. Similarly, all gardens and terraces exceed the minimum requirements of the London Housing Design Guide.

## Communal Amenity

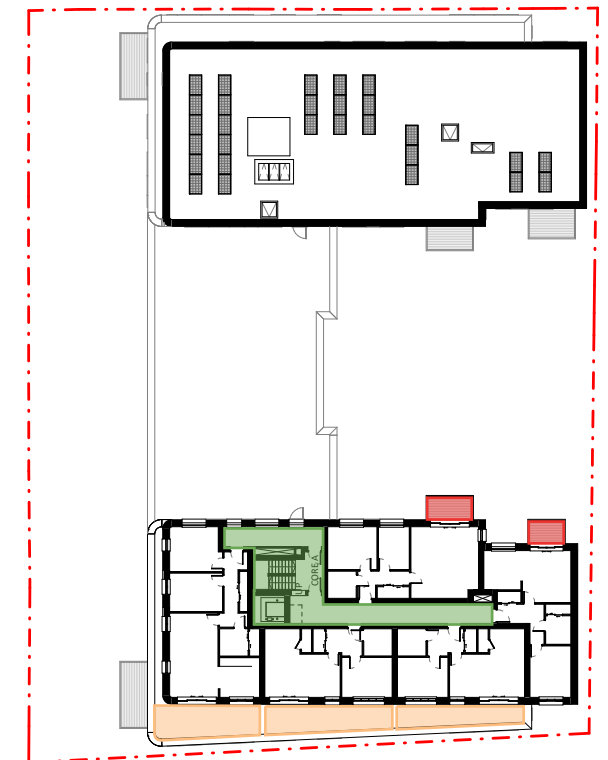
An internal communal podium is situated at the centre of the massing for all residents to enjoy. The podium can be accessed from both cores.



First Floor



Second Floor



Sixth Floor



## Key

- Core A communal circulation
- Core B communal circulation
- Communal podium
- Individual terraces
- Individual balcony



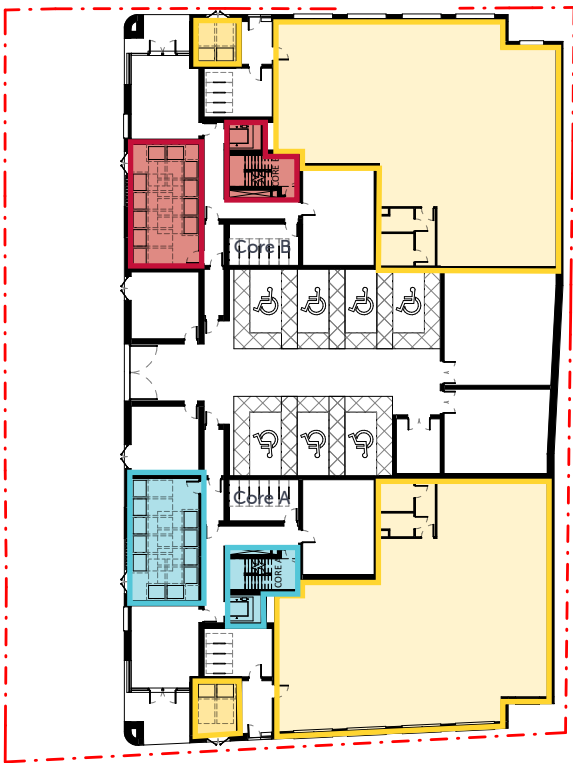
Courtyard Visual



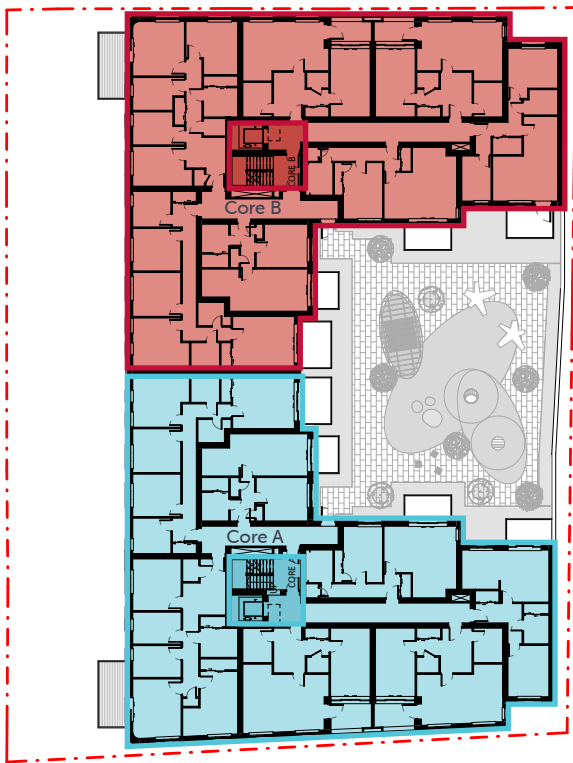
# 10.3 Refuse Strategy

Refuse provision has been designed and calculated in accordance with LB Greenwich's most current waste management guidelines.

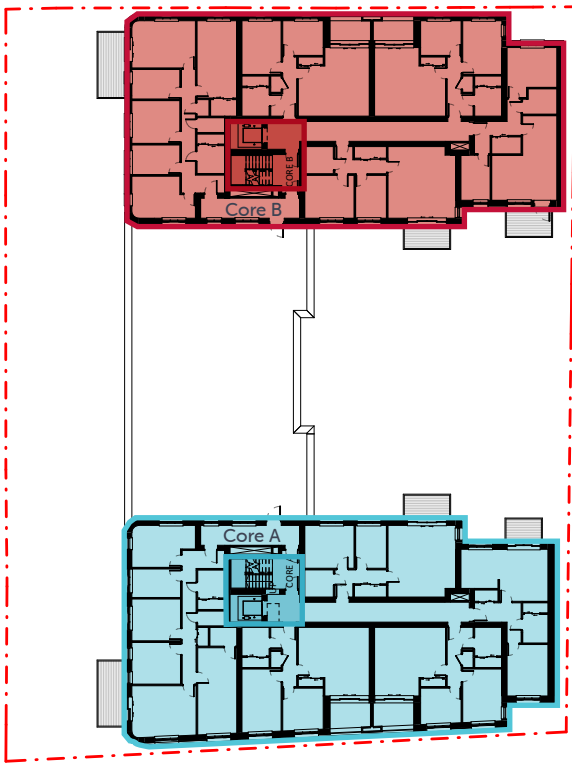
Both Core A and Core B have their own dedicated communal bin stores which are located along the northern frontage of the proposal. This allows for easy access for residents, given both stores are located adjacent to their respective cores. Refuse operatives access the bin store externally via a secure external louvred door off the east-west link.



Ground Floor



First Floor

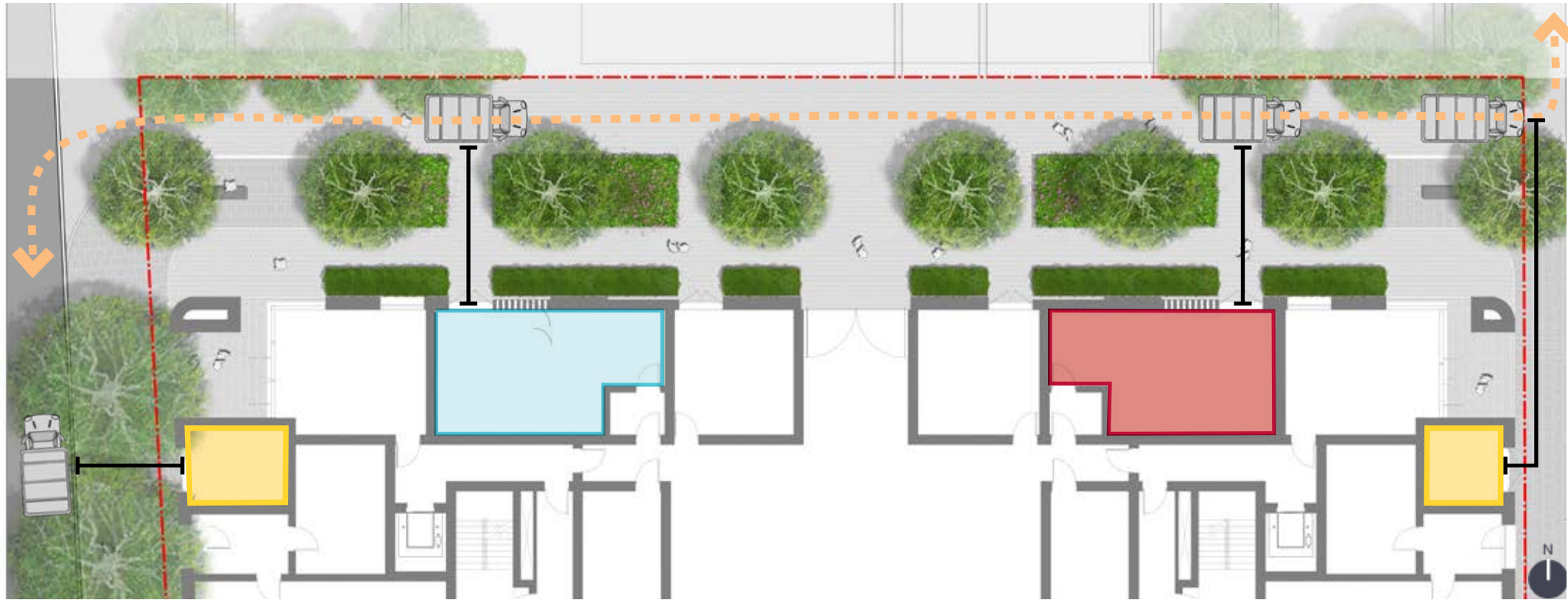


Fourth Floor



Key

- Communal Bins - Core A
- Communal Bins - Core B
- Individual Bins - Commercial
- Vehicular route

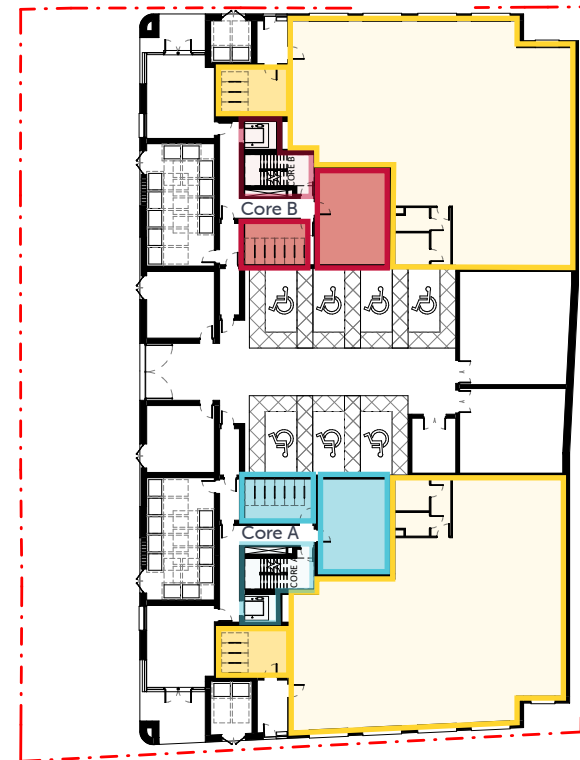


Refuse Strategy Diagram

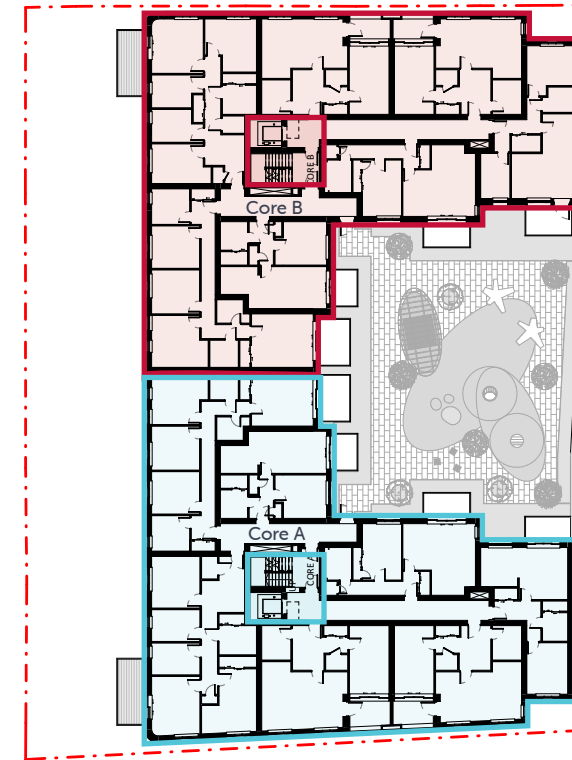
# 10.4 Cycle Strategy

Cycle provision has been designed and calculated in accordance with the Intend to Publish London Plan.

Each core contains two cycle stores for residents, one containing Sheffield stands, and the other containing a two-tier bicycle rack. Communal cycle storage would only be shared with people living within the same core to minimise inherent theft and security issues.









Ground Floor

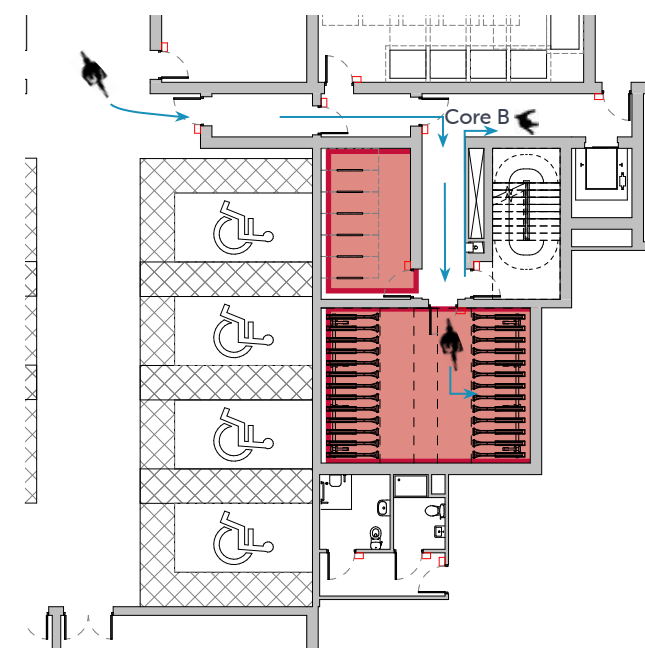


First Floor

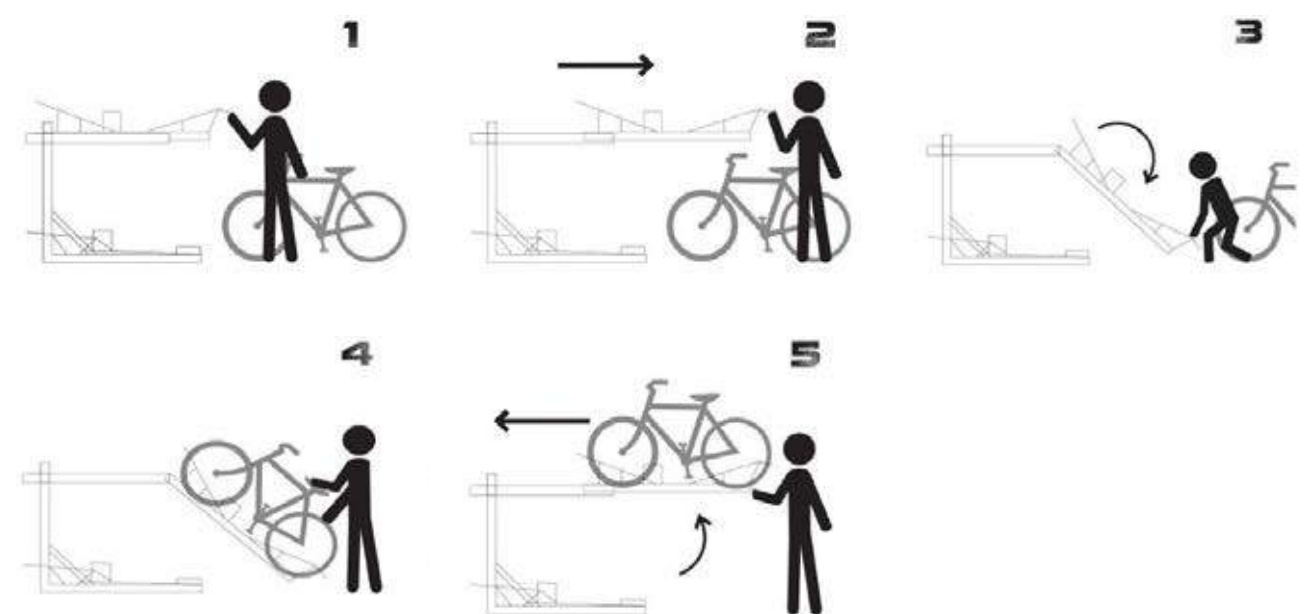


## Key

	Core A Bikes		Core A
	Core B Bikes		Core B
	Commercial Bikes		Commercial



Bike store strategy diagram - Core B



Two-tier bicycle rack use diagram

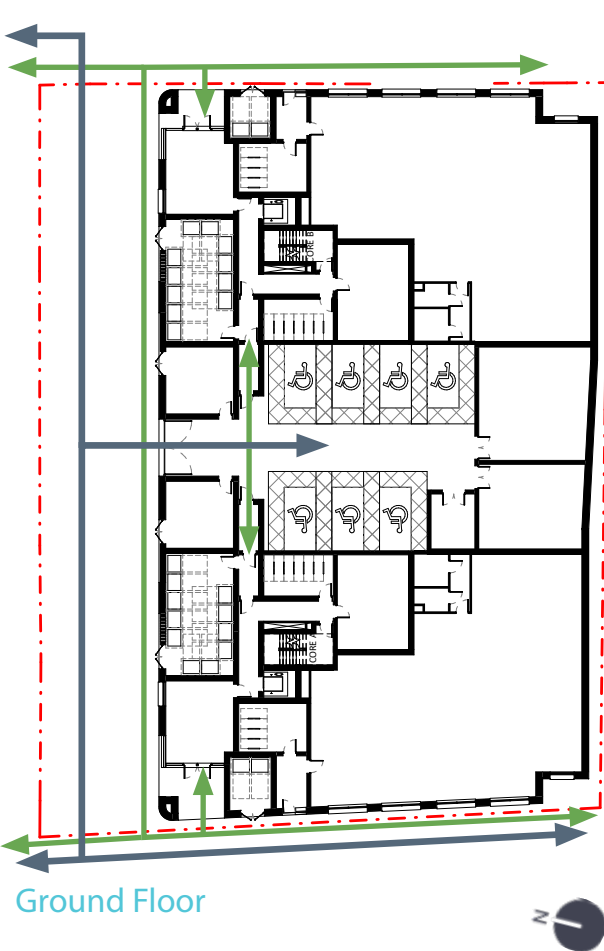


# 10.5 Movement Strategy

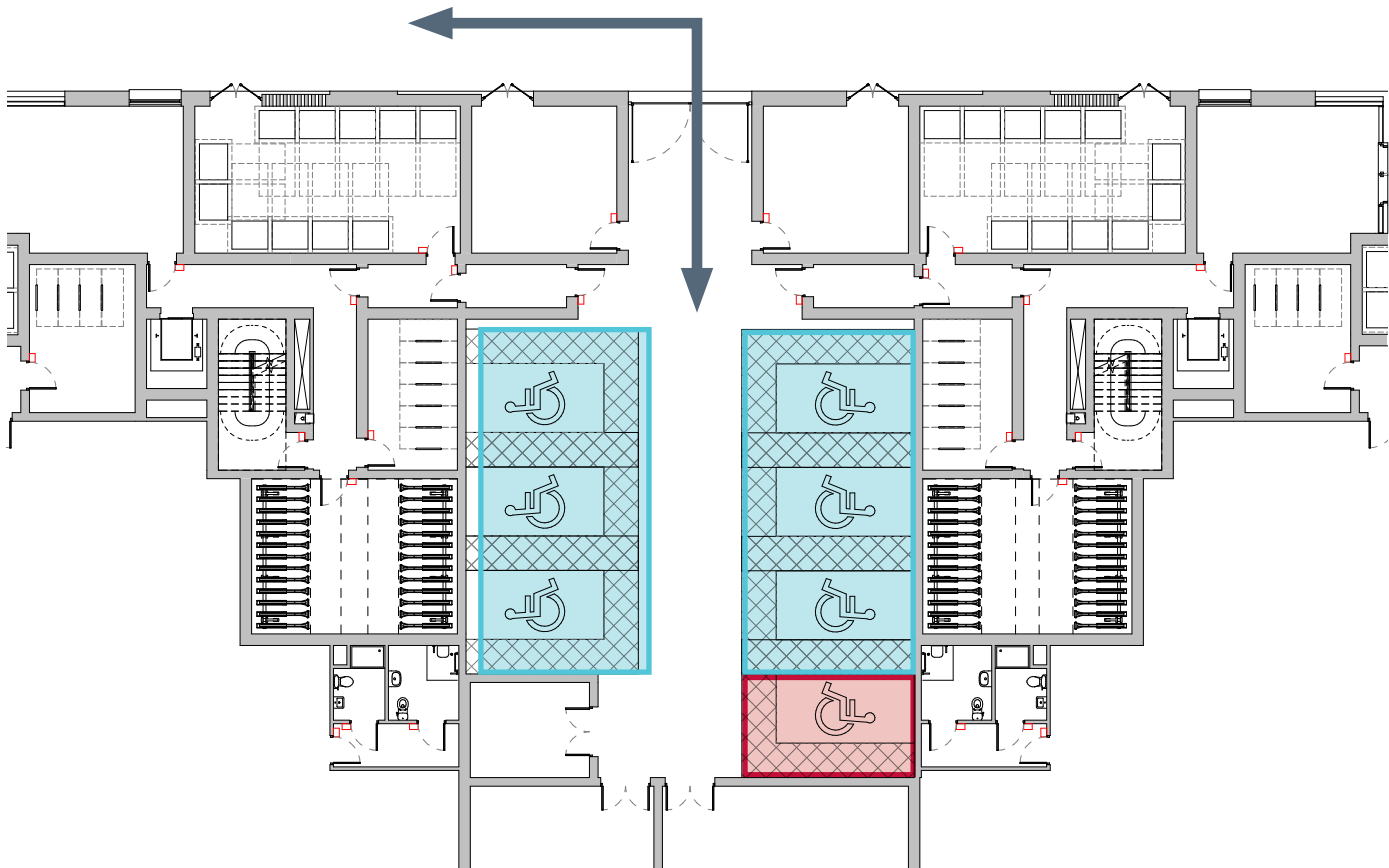
Core A and Core B are located off of Westmoor Street and Eastmoor Street respectively. Both roads stem from the nearby Woolwich Road (A206). A new east-west link will connect the two roads along the northern edge of the building.

Westmoor Street and the new east-west link will provide vehicular access to the car park. The car park provides eight parking spaces. Seven of these are wheelchair spaces, to cater for the 6 wheelchair homes plus one for commercial use.

Pedestrian movement across the site includes level access, with the entrances being accessible along three sides; Westmoor Street, Eastmoor Street and the new east west link.



Ground Floor



Car Park

Sixth Floor

- Key
- Pedestrian Movement
  - Vehicular Movement
  - Wheelchair Commercial Parking
  - Wheelchair Resident Parking



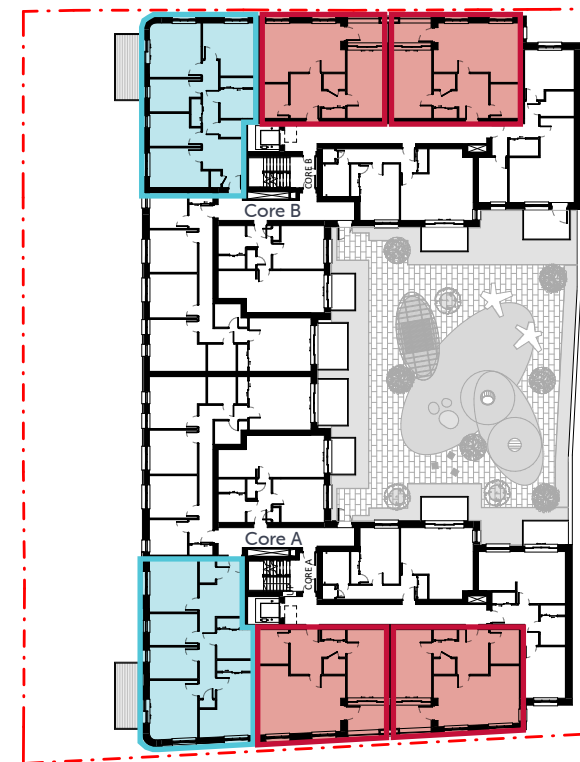
# 10.6 Wheelchair Strategy

10% of the dwellings are designated as wheelchair accessible home. Likewise, all WC homes have been designed in accordance with Approved Document M4(3)

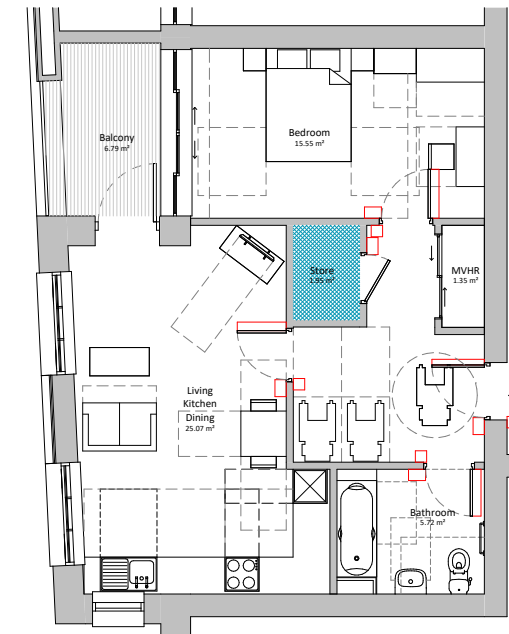
Level access is provided across the building to allow easy movement between spaces for wheelchair users. All wheelchair homes are located on the first floor to enable short travel distances to the building entrances and communal podium.

## Key

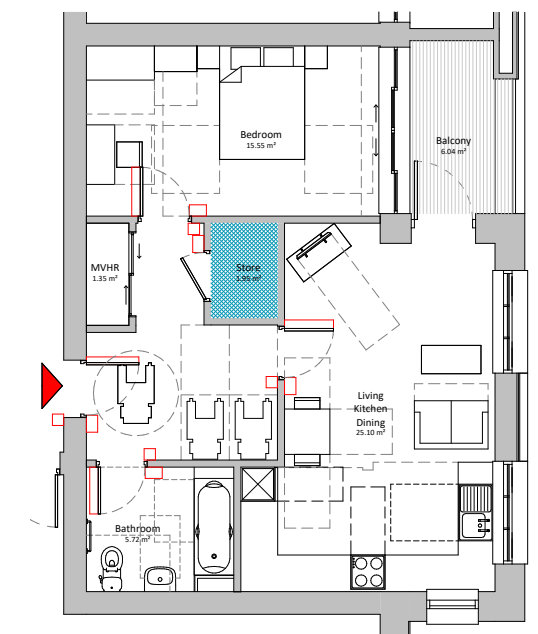
- 1B2P WC
- 3B4P WC



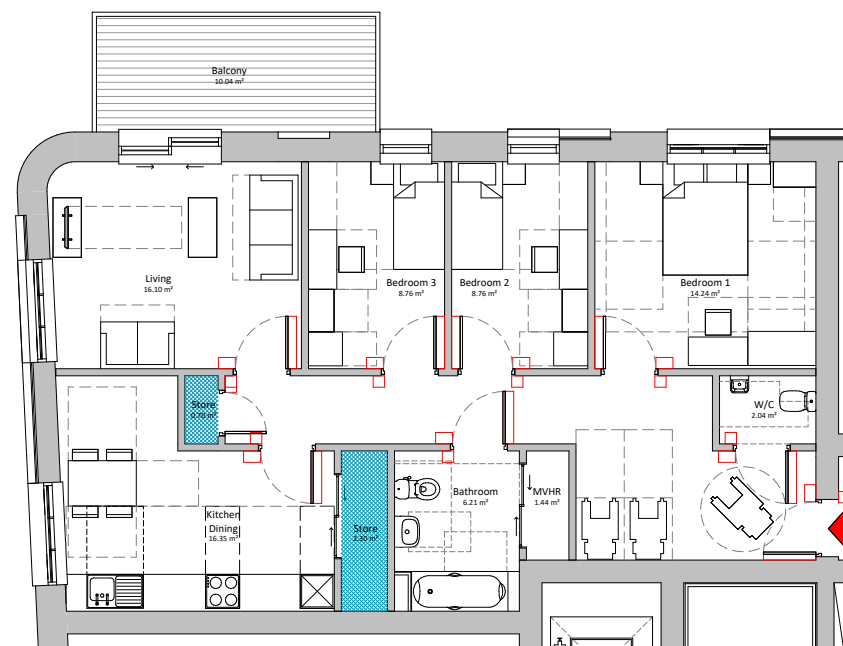
First Floor



1B2P WC - AFF



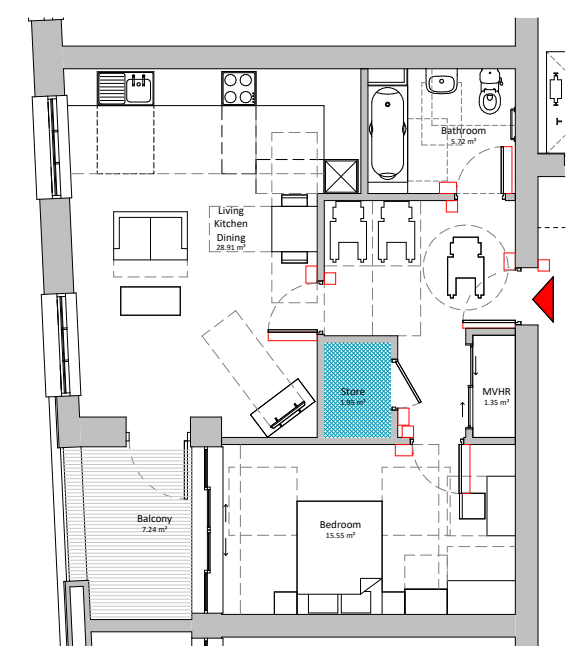
1B2P WC - AFF



3B4P WC - AFF



3B4P WC - AFF



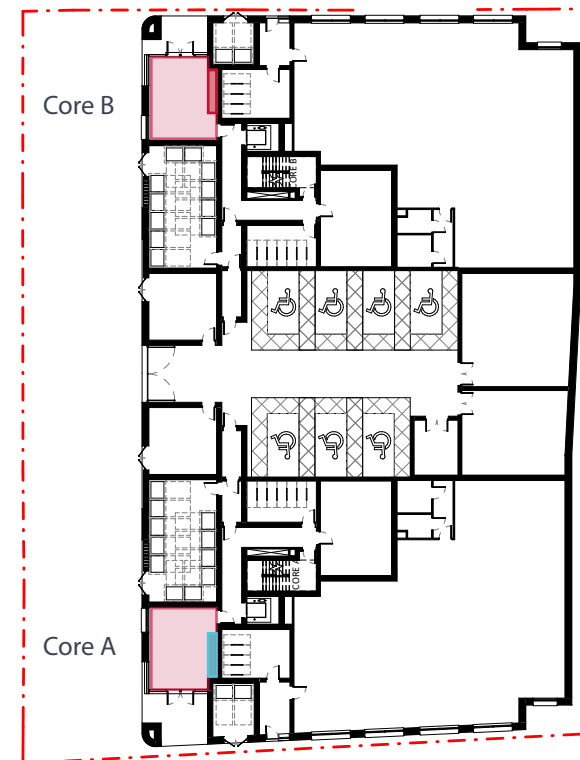
1B2P WC - AFF



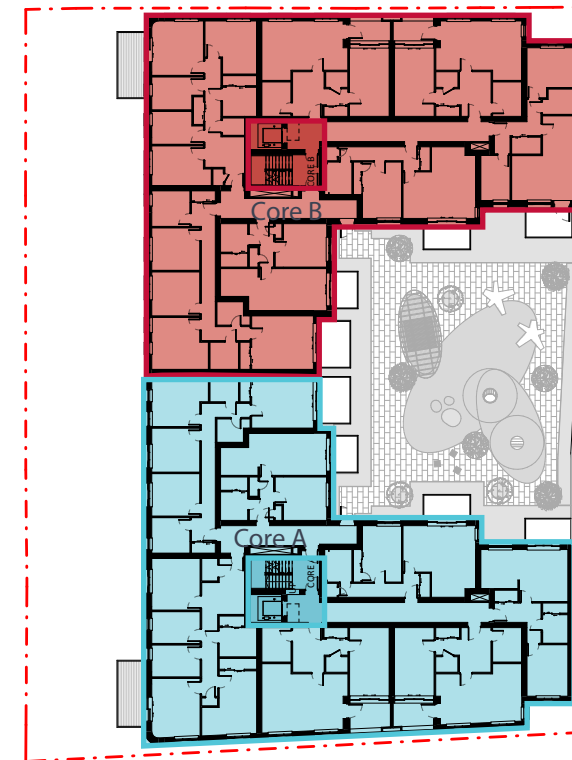
# 10.7 Postal Strategy

The post boxes are positioned internally within the entrance lobbies of Core A & Core B. This minimises their impact on the streetscape and provides a sheltered, more secure location for residents to collect their mail from.

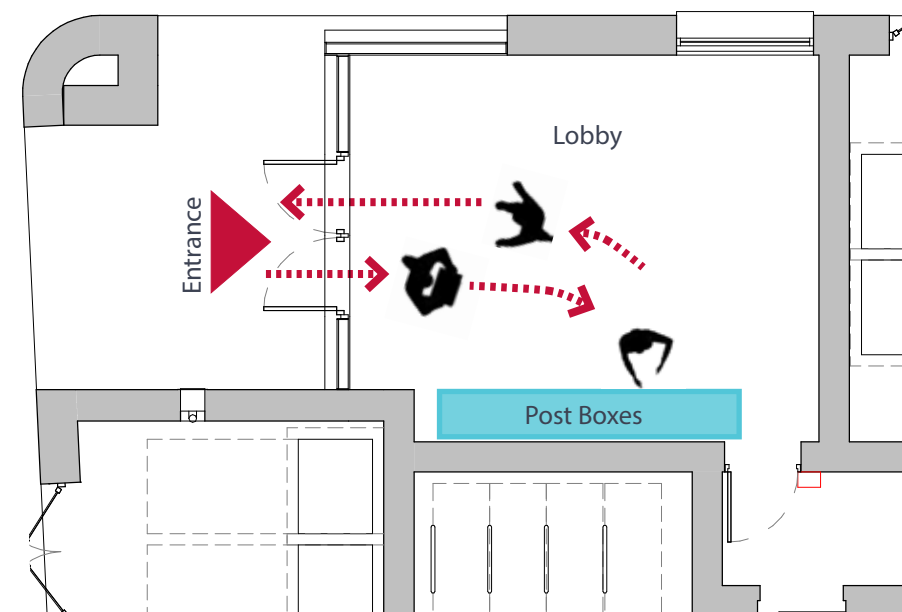
Postal staff would access the building via a dedicated fob which would allow entry to the lobby spaces only. Upon leaving these spaces, postal staff can use the exit button to leave.



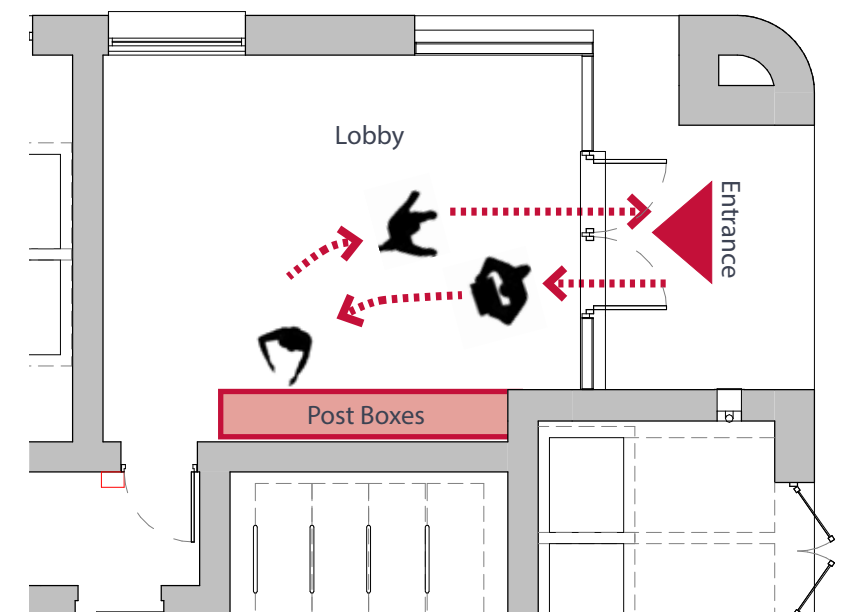
Ground Floor



First Floor



Postal diagram - Core A



Postal diagram - Core B

# 10.8 Designing Out Crime

The Design Team have worked diligently to take into account the principles of designing out crime. We have examined the design guides set out by the Secured by Design initiative and subsequently incorporated these principles into the design approach. As a result, areas such as layout, access, parking, landscaping and lighting have been given due consideration to minimise opportunities for crime and anti-social behaviour.

The scheme features a mixed-use development with active street frontages and commercial uses at ground floor, creating a strong sense of passive overlooking at this level. All accessible frontages are situated on vehicular or pedestrian routes than offer an element of activity. Additionally, there are no dwellings located at ground floor level, minimising direct access to any private residences.

Entrances to the block are through prominently placed, secure locations, adding additional activation and natural surveillance. All entrances will require fob access. The main entrances feature additional secured doors, preventing further access for postal workers.

Additional secure locations, such as the car park, refuse stores, and bike stores will also require fob access. All vehicles and bicycles will be housed internally within the block.

As stated in Section 10.7, postboxes are housed within the entrance lobbies, ensuring passive surveillance in a secure location, with secondary doors onto the cores preventing further access for postal or delivery workers.

The block has been designed to ensure there is passive overlooking upon all accessible frontages, which will act as an effective deterrent. This includes living rooms overlooking Westmoor Street, Eastmoor Street, the proposed East-West link, and the communal podium.

All communal entrances, dwelling entrances, along with all windows located at podium level, will be designed and manufactured in accordance with PAS 24:2012.

Screens will be provided for terraces along the 5th and 6th floors to assist with privacy for flats located at the top floors.

Key

Secured Residential Door

Secured Window

Secured Car Park

Communal Podium

Secured Commercial Door

Commercial Space

Postboxes

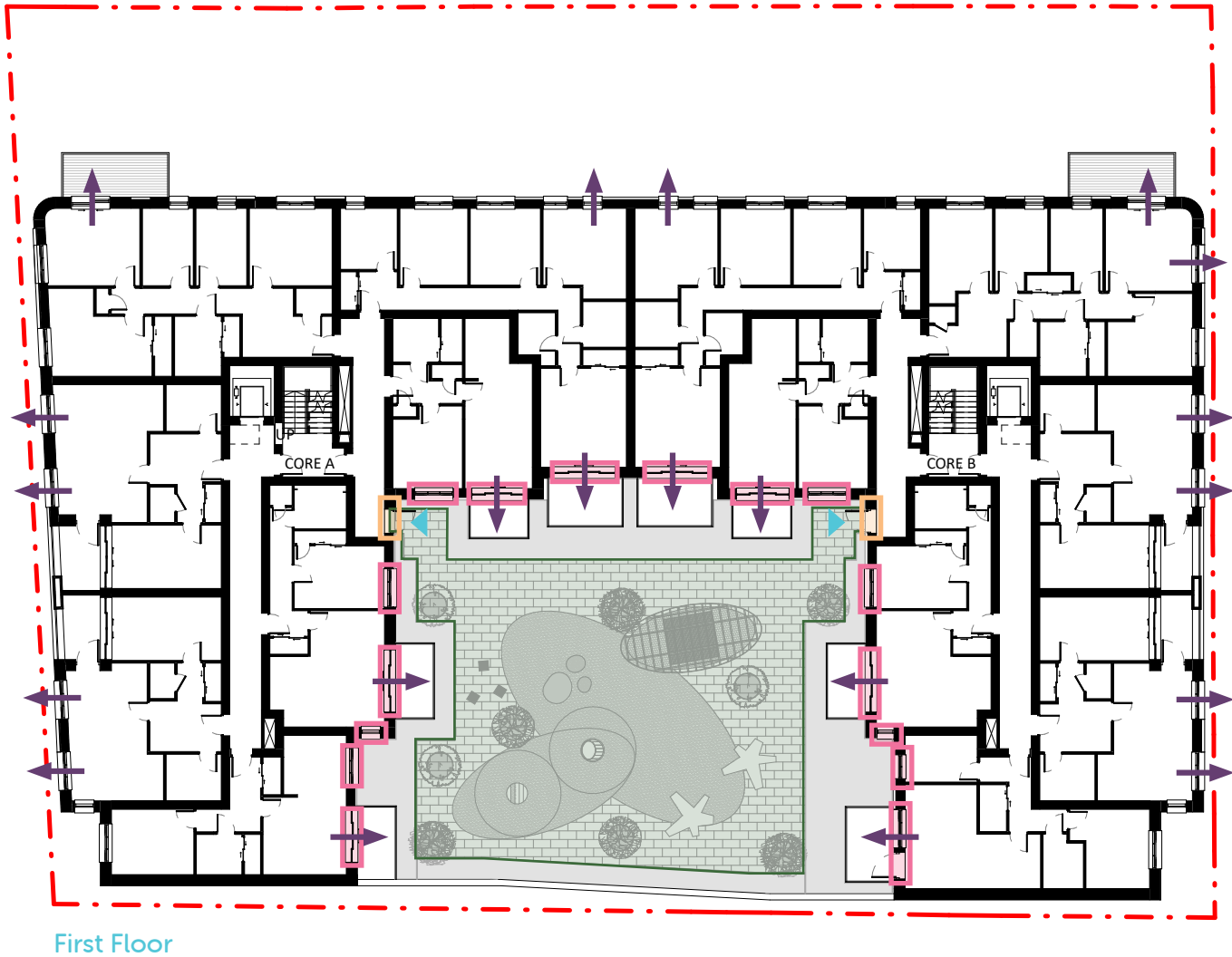
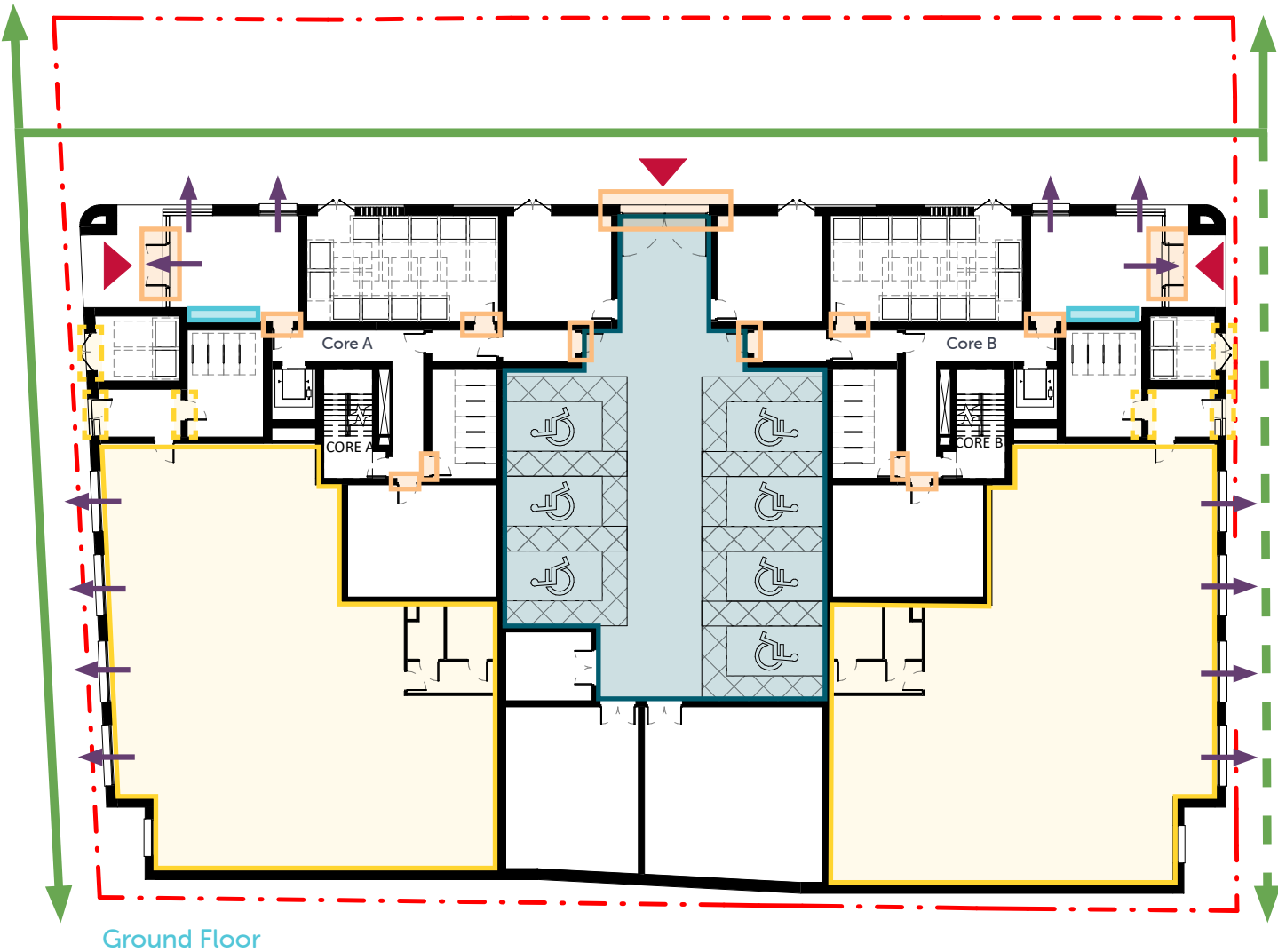
Passive surveillance

Pedestrian & Vehicular Route

Pedestrian Route

Residential Entrance

Podium Entrance

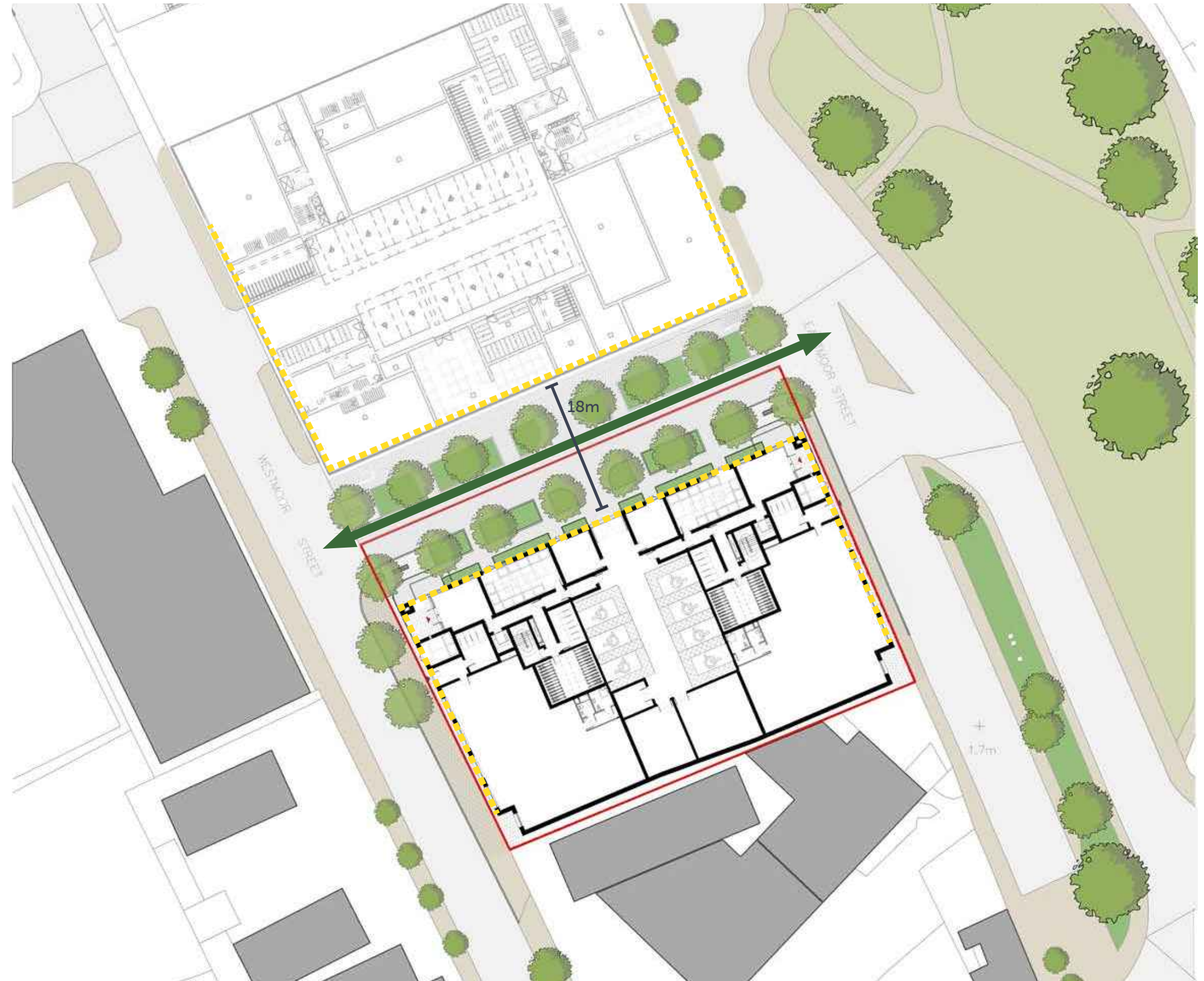




## 11.0 Emerging Context

## 11.1 Emerging Context

The Design Team have been working closely with the adjacent landowners to the north of Evelyn House to develop a coherent architectural response to the outline principles set within the Charlton SPD Masterplan. This includes a new east west link that sits between both sites and provides direct connections through to Barrier Park. These proposals, along with the new link, set out to be a catalyst for further redevelopment of the Charlton Riverside SPD Masterplan.



### Key

- ↔ East-West link
- Distance between buildings
- Street frontages



## 12.0 Summary

# 12.1 Summary

## Overview

Evelyn House will provide a 100% affordable scheme totaling 67 homes, including:

- > 22 No. 1 bed
- > 30 No. 2 bed
- > 12 No. 3 bed
- > 3 No. 4 bed

There are a total of 6 No. M4(3) wheelchair compliant apartments within the total number, comprising of:

- > 4 No. 1 bed
- > 2 No. 3 bed

## Parking

The proposal includes a car park which contains 7 No. wheelchair parking spaces, consisting:

- > 6 No. wheelchair spaces for resident use
- > 1 No. wheelchair space for commercial use

## Commercial

The proposal includes provision for two commercial spaces, including dedicated spaces for cycle parking and refuse stores







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